



View from street

New Fitting Shop

at
Main Rd
Busy Area

for
Developer

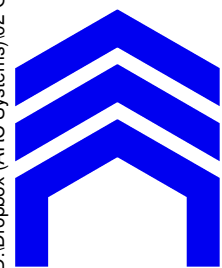
Consultant List	
<p>Town Planner Haveri Pty Ltd Denis Mulcahy p: (07) 3300 0093 e:denis@plansolutions.com.au PO Box 355 The Gap QLD 4061</p>	<p>Engineer Structural AD Structure Adrian Dine p: 07 3491 7288 e: mail@adstructure.com.au Unit 3, 6 Oxley St, North Lakes, QLD, 4509</p>
<p>Energy Assessor Catalyst BA As per certifier</p>	<p>Certifier Professional Certification Group Peter O'Brien Senior Certifier – Commercial MOB 0409 633 349 TEL 07 3069 5763 10 Hall Street, Chermside QLD 4032</p>

No	#	Sheet Name	Issue	Rev
001GF	1	Cover - Project	WD1	
002GS	2	Locality Plans	WD1	
003GG	3	Code Data	WD1	
102SP	4	Site Plan 1-200	WD1	
103SP	5	Site Dimensions	WD1	
110FP	6	Level 0 Floor Plan	WD1	
111FP	7	Mezzanine Floor Plan	WD1	
131RP	8	Roof Plan	WD1	
132RP	9	Stormwater Drainage Diagrams	WD1	
150EP	10	Level 0 Electrical Plan	WD1	
151EP	11	Level 1 Lighting Plan	WD1	
171AP	12	Area Plan Site Cover	WD1	
172AP	13	Area Plans Overall	WD1	
201EL	14	Elevations 1 of 2	WD1	
202EL	15	Elevations 2 of 2	WD1	

No	#	Sheet Name	Issue	Rev
301ST	16	Sections Cross	WD1	
321ST	17	Sections Longitudinal	WD1	
411PD	18	Axonometric NE	WD1	
412PD	19	Axonometric NW	WD1	
413PD	20	Axonometric SE	WD1	
414PD	21	Axonometric SW	WD1	
431PD	22	External Perspectives	WD1	
432PD	23	Renders	WD1	
510SE	24	Level 0 Setout	WD1	
511SE	25	Mezzanine Setout	WD1	
520FT	26	Level 0 Slab Layout	WD1	
601DG	27	Details - Stairs	WD1	
602DG	28	Details - Waterproofing	WD1	
603DG	29	Details - Waterproofing Notes	WD1	
621DW	30	Details - Wall Types	WD1	
622DW	31	Details - Threshold ramp	WD1	

No	#	Sheet Name	Issue	Rev
623DW	32	Details - PWD bathroom	WD1	
631DR	33	Details - Awning Roof	WD1	
671DJ	34	Details - Handrails	WD1	
701SC	35	Window Schedule	WD1	
711SC	36	Door Schedule	WD1	
731NT	37	General Notes	WD1	
781SD	38	Safety in Design Notes	WD1	
802SP	39	Existing Site 1-200	WD1	
810FP	40	Existing Level 0 Floor Plan	WD1	
815RP	41	Existing Roof Plan	WD1	
821EL	42	Existing Elevations	WD1	
822EL	43	Existing Elevations	WD1	
831ST	44	Existing Sections	WD1	
841PD	45	Existing 3D Views	WD1	
860FP	46	Demolition Views	WD1	

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WD1	22.05.17	Cons Dwgs
DA2	12.09.16	Revised DA
DA1	12.05.16	DA Issue
DD1	05.04.16	Design Development
SK1	11.03.16	Sketch Issue 01
Issue	Date	Issue Description

Rev Date Revision Description

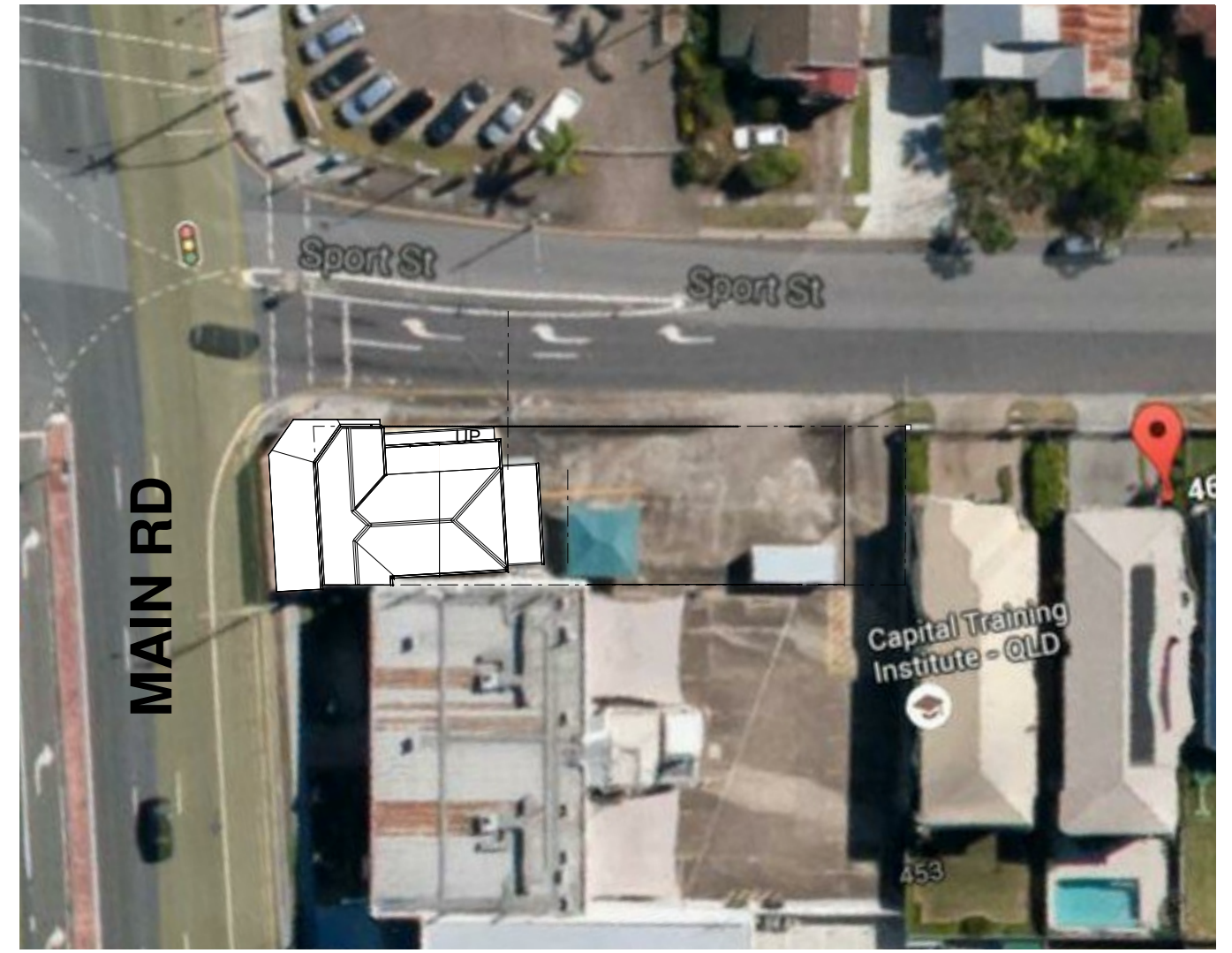
Working Drawings

Issue Date 22.05.2017

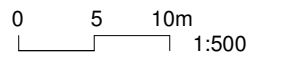
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WD1



1 locality plan
1 : 2000

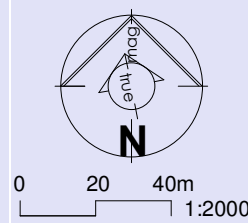


2 aerial image
1 : 500



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Scale at A3
 As indicated
 Designed AB
 Drawn AB
 Checked PBL

New Fitting Shop
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Locality Plans
 Working Drawings

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Job No
0000111
 Dwg No
002GS
 Issue
WD1

Area

Area: 521 sq.m

Applications

[A003958506 - Low Impact Industry, Low Impact Industry](#)

Zoning

QPP-LDR - LOW DENSITY RESIDENTIAL ZONE

Neighbourhood Plans and Overlays

- QPP-SHO - STREETScape HIERARCHY OVERLAY
- QPP-TNO - TRANSPORT NOISE CORRIDOR OVERLAY
- QPP-DHO - DWELLING HOUSE CHARACTER OVERLAY
- QPP-CIO - CRITICAL INFRASTRUCTURE AND MOVEMENT NETWORK (CIMN) OVERLAY
- QPP-AEO-PANS - AIRPORT ENVIRONS OVERLAY - PROCEDURES AIR NAV SERVICES-AIRCRAFT OPS SURFACES SUB-CATEGORIES
- QPP-CIO-CIM - CRITICAL INFRASTRUCTURE AND MOVEMENT NETWORK (CIMN) OVERLAY - CIMN PLANNING AREA SUB-CATEGORY
- QPP-TNO-QD4 - TRANSPORT NOISE CORRIDOR OVERLAY - QUEENSLAND DEVELOPMENT CODE MP4.4 NOISE CATEGORY 4 SUB-CATEGORY
- QPP-AEO-S8 - AIRPORT ENVIRONS OVERLAY - BBS SUB-CATEGORIES - DISTANCE FROM AIRPORT 3-8KM SUB-CATEGORY
- QPP-TAO - TRANSPORT AIR QUALITY CORRIDOR OVERLAY
- QPP-AEO-OLS - AIRPORT ENVIRONS OVERLAY - OBSTACLE LIMITATION SURFACES (OLS) SUB-CATEGORIES
- QPP-AEO - AIRPORT ENVIRONS OVERLAY
- QPP-RHO - ROAD HIERARCHY OVERLAY
- QPP-BNO - BICYCLE NETWORK OVERLAY
- QPP-AEO-BBS - AIRPORT ENVIRONS OVERLAY - BIRD AND BAT STRIKE ZONE SUB-CATEGORIES
- QPP-AEO-OHL - AIRPORT ENVIRONS OVERLAY - HORIZONTAL LIMITATION SURFACE BOUNDARY SUB-CATEGORY
- QPP-TNO-QD3 - TRANSPORT NOISE CORRIDOR OVERLAY - QUEENSLAND DEVELOPMENT CODE MP4.4 NOISE CATEGORY 3 SUB-CATEGORY
- QPP-CHNP - CHERMSIDE CENTRE NEIGHBOURHOOD PLAN

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DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			

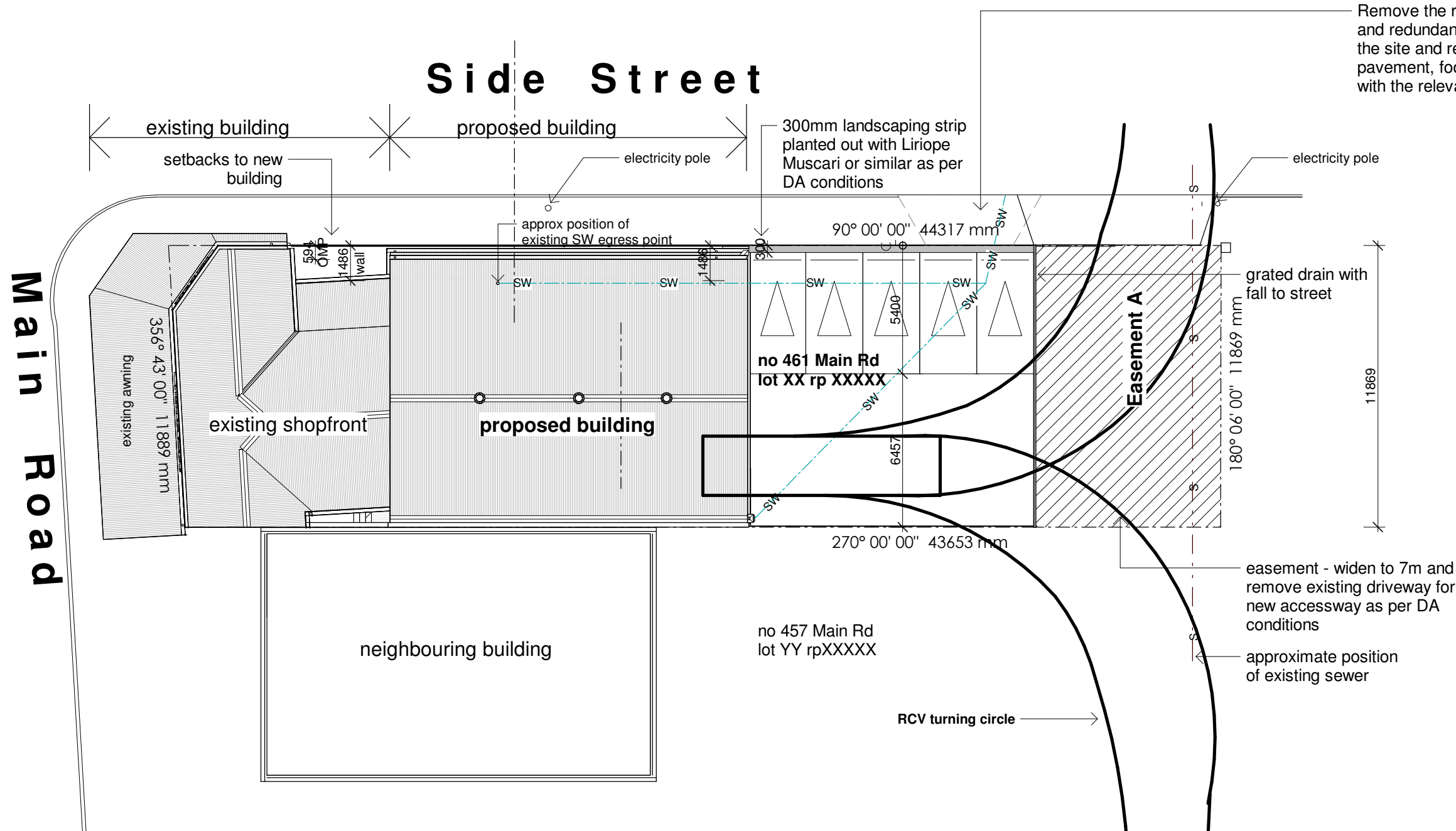
Scale at A3	New Fitting Shop
Designed AB	at Main Rd
Drawn AB	Busy Area
Checked PBL	for Developer

Code Data
Working Drawings

Job No 0000111
Dwg No 003GG
Issue WD1

General Notes - Site

- 1 downpipes to egress into stormwater lines as shown taken to street kerb
- 2 these plans are based on a measure by this practice and/or any existing drawings by others.



Remove the redundant existing vehicle crossing and redundant drainage outlets on the frontage of the site and reinstate the kerb and channel, road pavement, footways and footpaths in accordance with the relevant Brisbane Planning Scheme Codes.

site cover 45.8 %

Area Schedule (Site Cover)		
name	area	% site
site existing	88.7 m ²	17.0%
site new	150.6 m ²	28.8%
site open	283.0 m ²	54.2%
	522.3 m ²	100.0%

R.P.D.:	Lot XX RP XXXXX Par Somewhere County Stanley
Local Authority:	Aaaaaa City Council
Area:	521m ²
Zoning/ Overlays:	QPP - LDR See 003GG - Code Data
Flood Level:	NIL
Transport Corridor:	Category: 4 (N/A for commercial use)
Climate Zone:	2

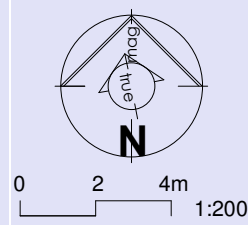
North Orientation Note:
North as indicated on these drawings, is taken from RP. True North maybe somewhat varied.

11/10/2018 12:08:08 PM

D:\Dropbox (ARC Systems)\02-QARC\QARC-03-Website\QARC-Example DrawingSets\LD\Revit\LD-2015081-Tintacar-ForQARC.rvt

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As indicated
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Drawn
AB
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PBL

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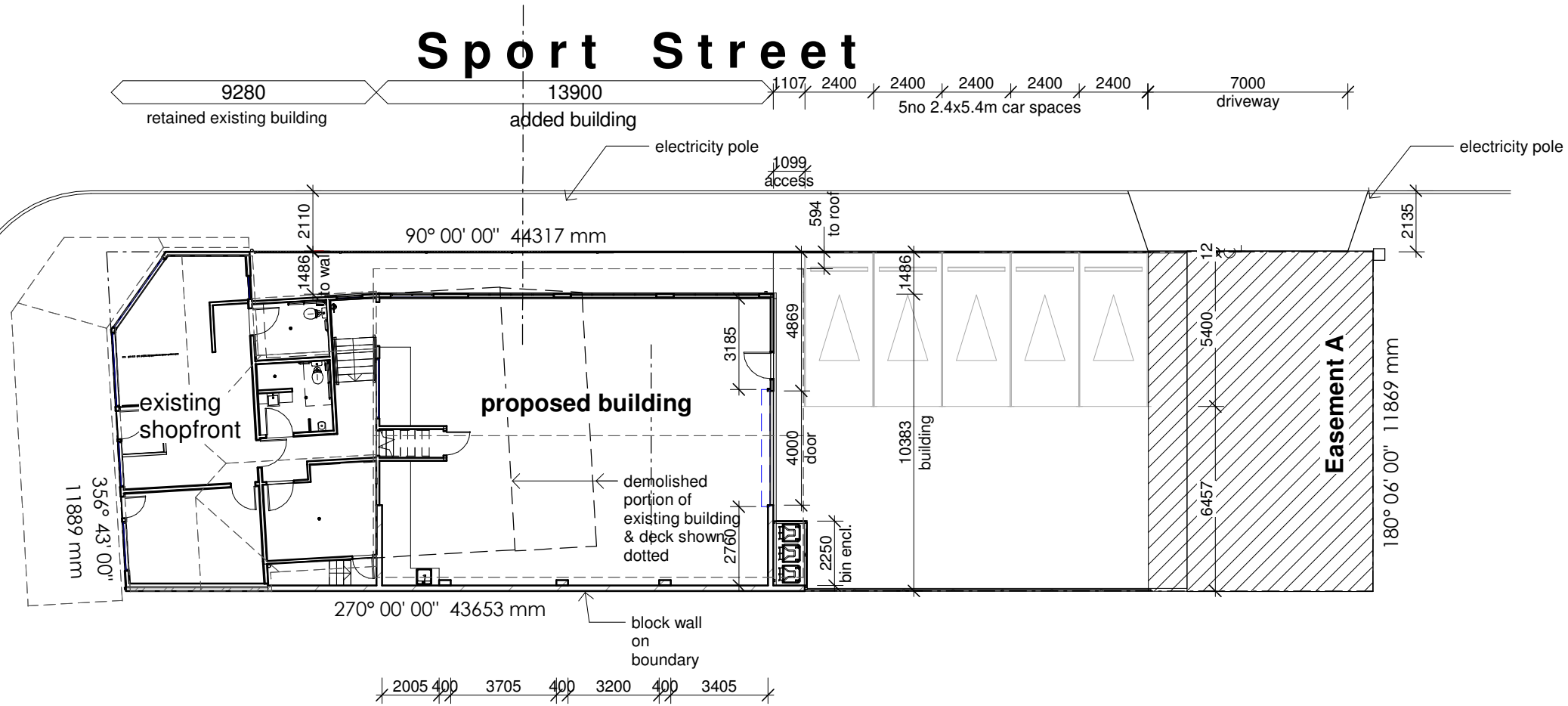
Site Plan 1-200

Working Drawings

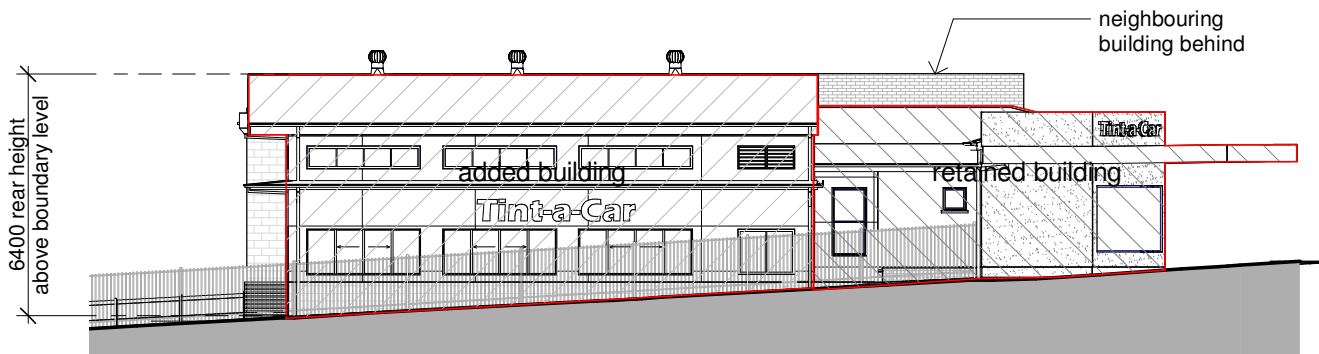
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0000111
Dwg No
102SP
Issue
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Gympie Road



1 site dimension plan
1 : 200



2 north elevation height
1 : 200

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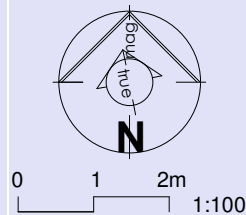
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 DA2 12.09.16 Revised DA
 DA1 12.05.16 DA Issue

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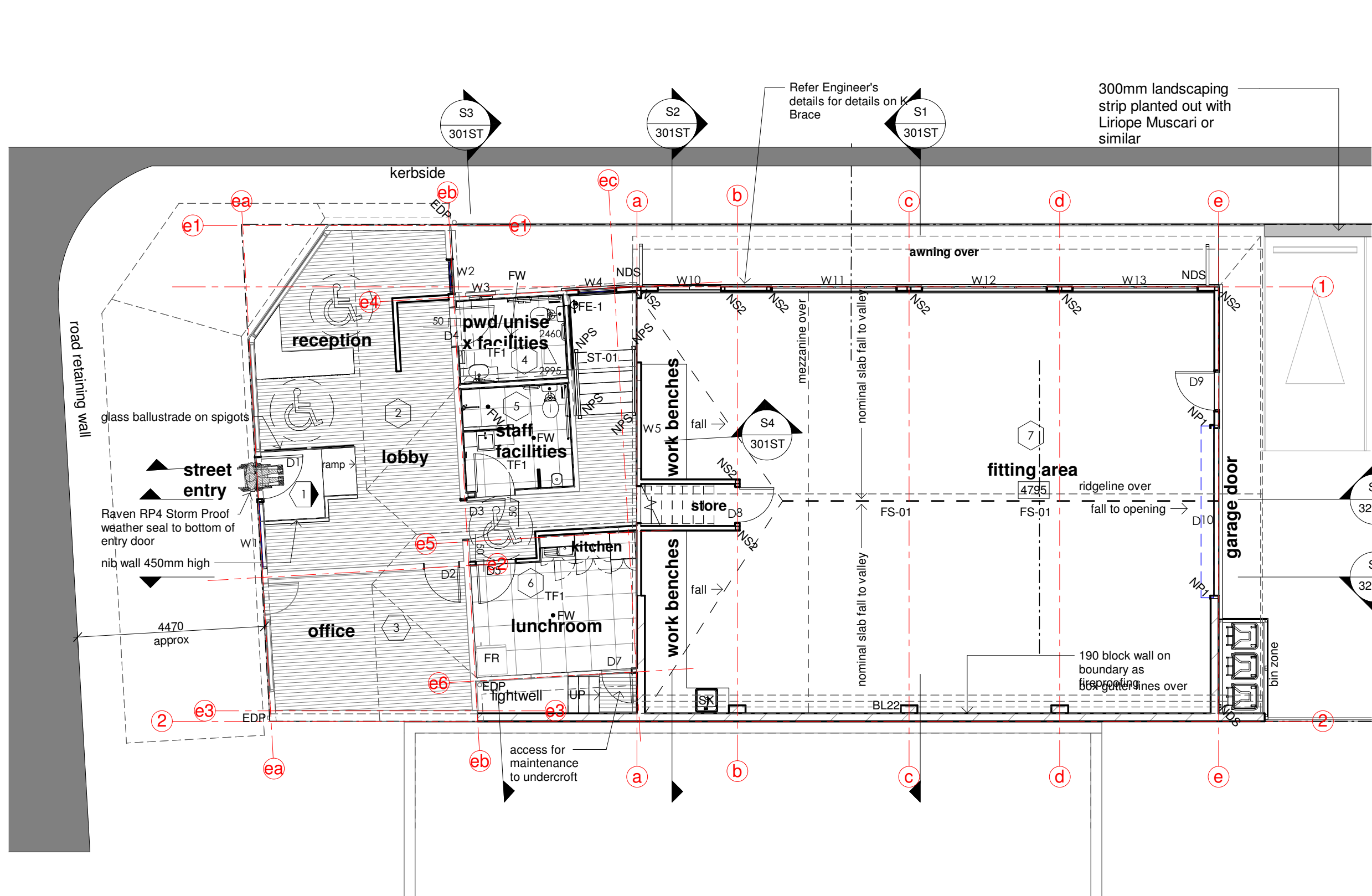


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New Fitting Shop
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Site Dimensions
 Working Drawings

Job No
0000111
 Dwg No
103SP
 Issue
WD1



KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
EDP	EXISTING DOWNPIPE
FE-1	FIRE EXTINGUISHER
FR	FRIDGE LOCATION
FS-01	SLAB AS PER ENGINEER
FW	FLOOR WASTE
NDS	NEW DOWNPIPE SQUARELINE AS SELECTED
NP1	NEW PFC POST AS SIZED BY ENGINEER
NPS	NEW NEWELL POST STEEL
NS2	NEW 89X4mm SHS POST
SK	SINK LOCATION
ST-01	TIMBER STAIRS WITH TIMBER STRINGERS OPEN RISERS
TF1	TILES (floor) AS SELECTED

Renovations List	
No	Reno description
1	new door at entry and landing with step ramp to lobby compliant to AS 1428
2	new flooring laid over existing joists. Internal renovations to create shop. existing walls reclad with plasterboard
3	minor renovations to improve office space
4	create unisex/pwd facilities compliant to AS 1428
5	install staff facilities as shown
6	install lunch room as indicated
7	construct fitting area as shown

insulation notes:
 products as listed, or equivalent
walls:
 min R1.5 required
 membrane - Bradford THERMOTUFF LD Breather to outside of timber stud frame
 bulk insulation - Bradford GOLD BATTIS for Walls & Floors R1.5 min
metal roof:
 min R2.0 required
 membrane - truss/rafter spacing <900mm use Bradford THERMOTUFF LD over battens
 truss/rafter spacing >900mm use Bradford THERMOTUFF MD over battens
 bulk insulation - Bradford GOLD BATTIS for Ceilings R2.0

proposed plan symbols	
	raking ceiling with end heights
	ceiling height
	fall direction & height
	stepdown
	renovation marker

REFER ENGINEER'S DRAWINGS FOR ALL STRUCTURAL MEMBERS

FOR CONSTRUCTION

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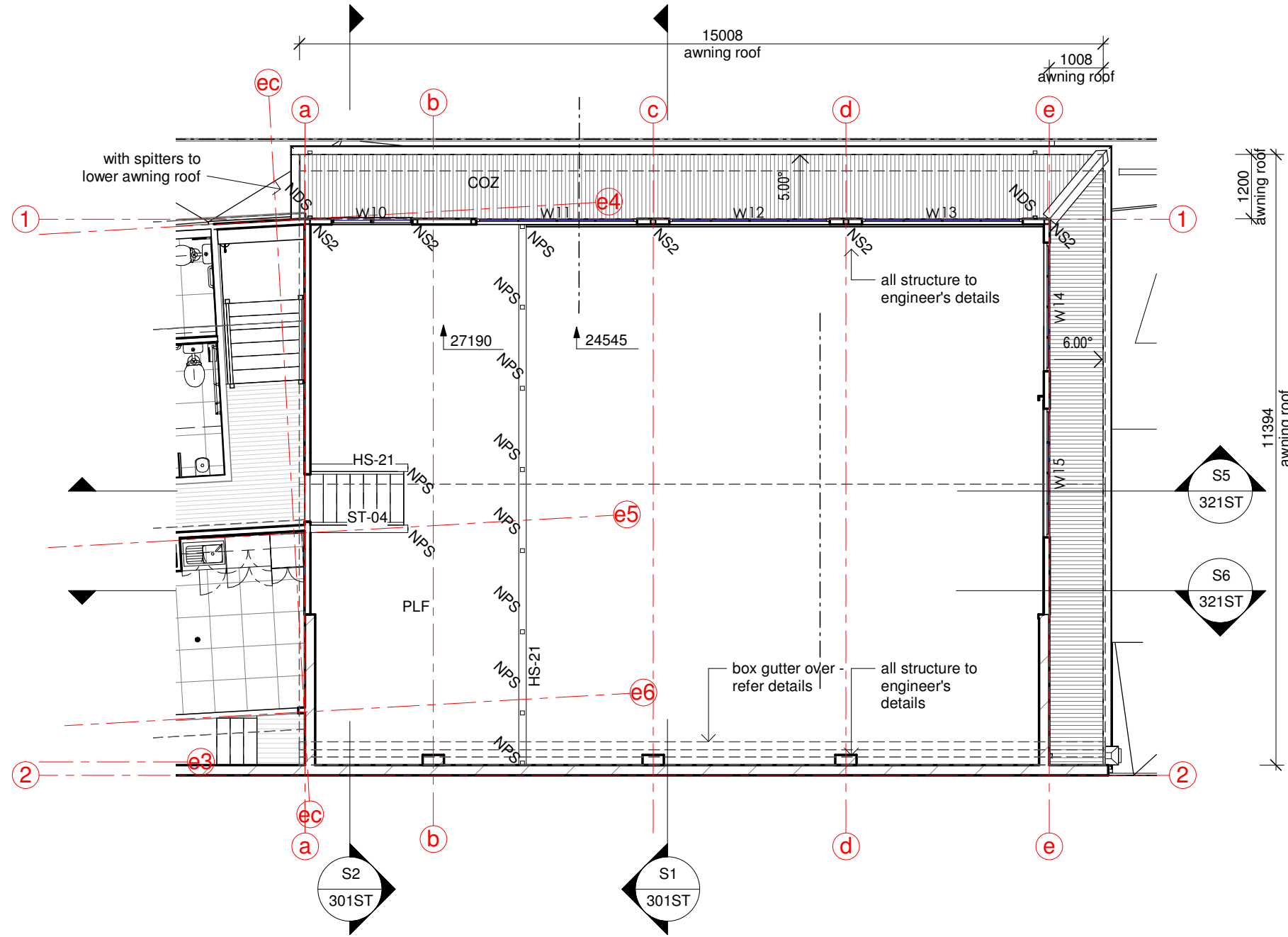
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SK1	11.03.16	Issue 01			

Scale at A3
 1 : 100
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Level 0 Floor Plan
 Working Drawings
 Job No
0000111
 Dwg No
110FP
 Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
COZ	CUSTOMORB - ZINCALUME
HS-21	HANDRAILS STEEL 1000 HIGH SQUARE RAILS & BALUSTERS
NDS	NEW DOWNPIPE SQUARELINE AS SELECTED
NPS	NEW NEWELL POST STEEL
NS2	NEW 89X4mm SHS POST
PLF	PLY FLOOR - 19mm CHH PLYFLOOR
ST-04	TIMBER STAIRS WITH TIMBER STRINGERS CLOSED RISERS-BY MANUFACTURER



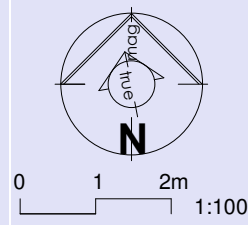
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proposed plan symbols	
	raking ceiling with end heights
	ceiling height
	fall direction & height
	stepdown
	renovation marker



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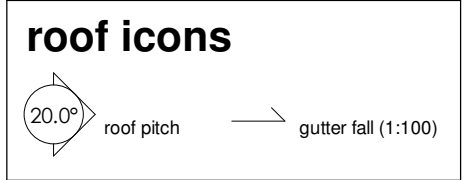
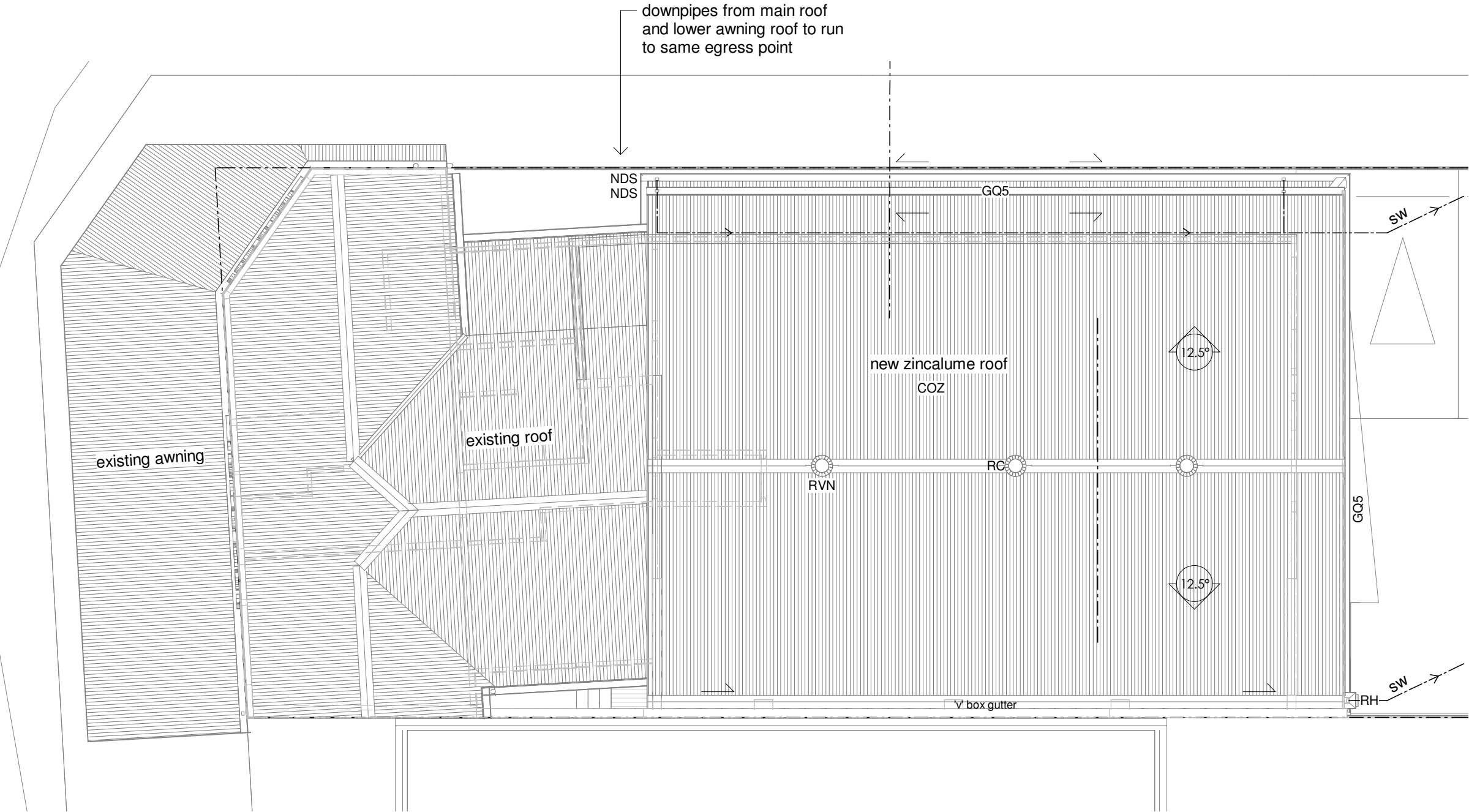
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Mezzanine Floor Plan

Working Drawings

Job No
0000111
 Dwg No
111FP
 Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION



REFER ENGINEER'S DRAWINGS FOR ALL STRUCTURAL MEMBERS

Roof Schedule (New)			
Base Level	Count	Area	Description
	1	6.69 m ²	Box Gutter
Level 0	3	194.88 m ²	Main & Awning roof
Grand total		201.57 m ²	

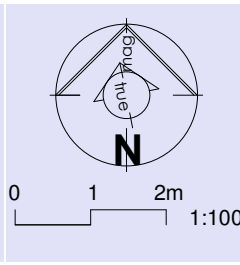
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Roof Plan

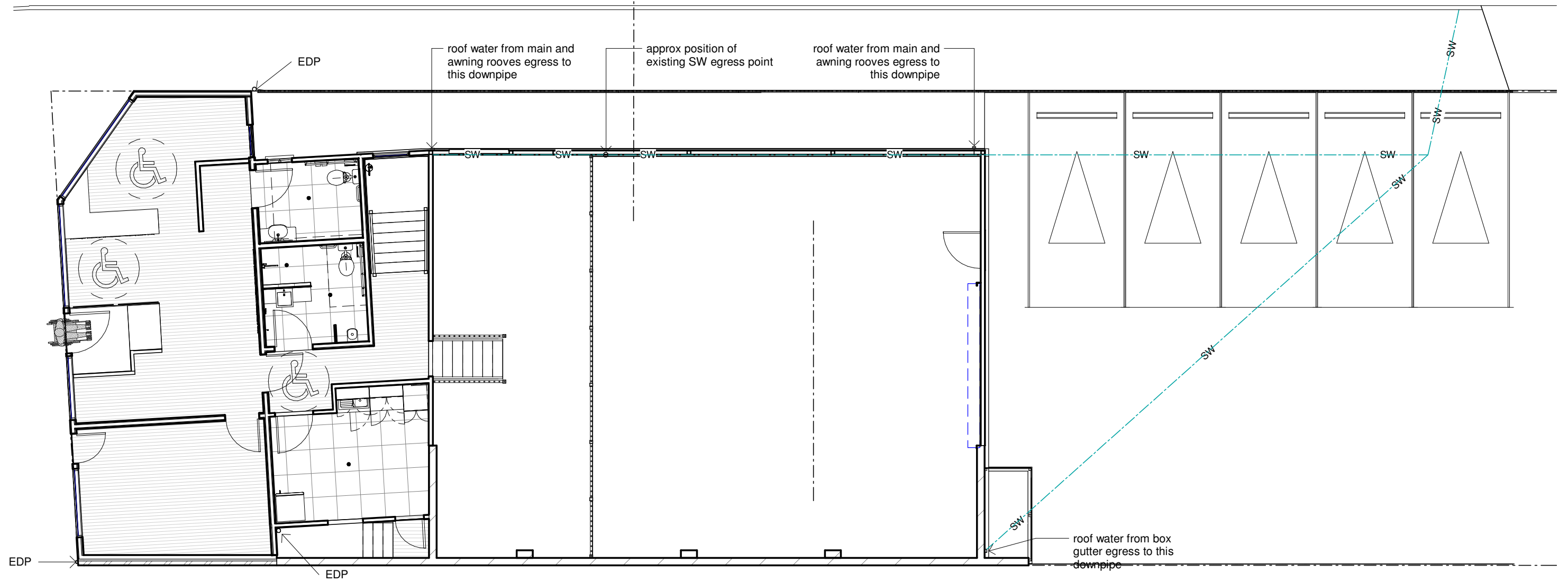
Working Drawings

Job No
0000111

Dwg No
131RP

Issue
WD1

Side Street

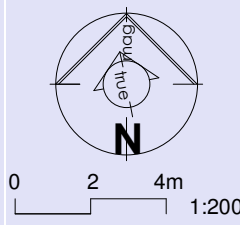


Locate existing stormwater lines and connect new stormwater outlets to existing if suitable. Redirect stormwater to street



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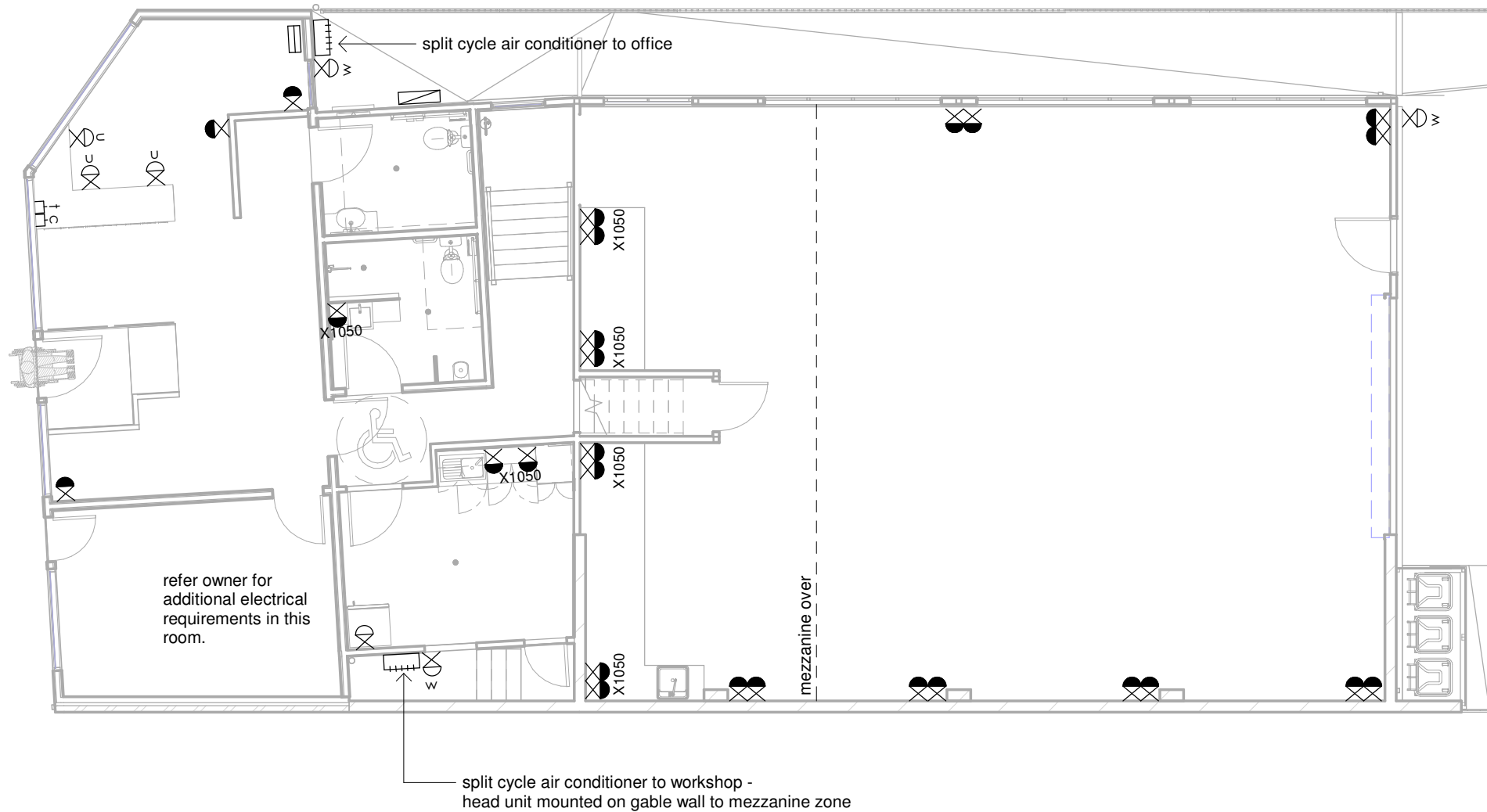
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Stormwater Drainage Diagrams

Working Drawings

Job No
0000111
Dwg No
132RP
Issue
WD1



electrics + services legend

distribution
 [cb] circuit board [triangle] main switch board

electrical ceiling items
 [X] exhaust fan (s/a) smoke alarm [heat/light unit] heat/light unit
 [fan 3] fan 3 [fan 4] fan 4 [fan 4 light] fan 4 light [speaker] speaker

lighting
 [downlight direct] downlight direct [fluorescent diffuser] fluorescent diffuser
 [downlight eyeball] downlight eyeball [fluorescent diffuser exist] fluorescent diffuser exist
 [external flood light] external flood light [fluorescent tube] fluorescent tube
 [paraflood] paraflood [exit light] exit light
 [pendant light] pendant light [oyster ceiling light] oyster ceiling light
 [wall up light] wall up light [wall mounted light] wall mounted light
 [sensor] sensor [bunker] bunker
 [bollard] bollard

80% by floor area of lighting to be energy efficient fittings.

power
 [GPO - double] GPO - double [GPO - existing] GPO - existing
 [GPO - single] GPO - single
 [GPO - underbench (double uno)] GPO - underbench (double uno) [GPO - waterproof (double uno)] GPO - waterproof (double uno)

note: provide power to all fixed & movable appliances.

sockets
 [telephone point] telephone point [tv aerial point] tv aerial point
 [computer point] computer point [cable tv point] cable tv point

switches
 [push button switch] push button switch [single light switch - 2 way] single light switch - 2 way
 [light switch (with no of switches)] light switch (with no of switches) [single light switch - dimmer] single light switch - dimmer

wall items
 [clock on wall] clock on wall [exhaust fan in wall] exhaust fan in wall
 [vacuum point] vacuum point

AC items
 ducted
 [supply air - ceiling] supply air - ceiling [return air grille] return air grille
 [supply air - bulkhead] supply air - bulkhead [ac control on wall] ac control on wall
 split
 [supply air - wall] supply air - wall [compressor] compressor

plumbing items
 [tap for hose] tap for hose [tap for hose, quarter turn] tap for hose, quarter turn

notes
 confirm position of items with owner/principal.
 uno - switches at 1150 above finished floor and outlets and sockets at 200 above finished floor.

lighting plans are done as reflected ceiling plans combined with some fittings

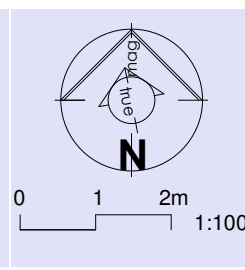
speakers + smart wiring note:
 refer owner for possible placement of speakers in ceiling and centralised control point.
 refer owner for potential use of smart wiring throughout building.

note: provide power to all fixed appliances including dishwasher, stoves and ovens, fridges etc.

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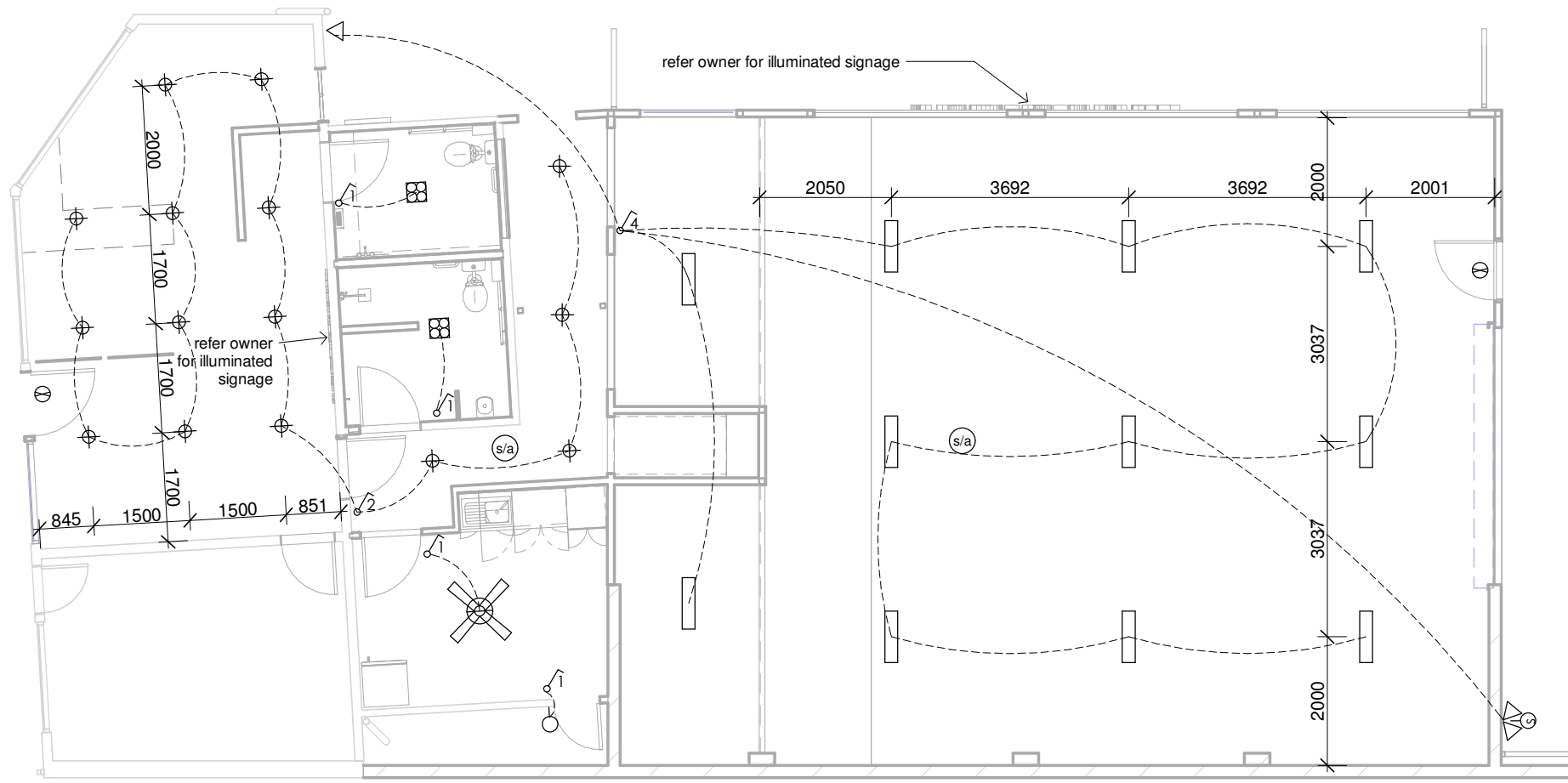
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Level 0 Electrical Plan
 Working Drawings

Job No
0000111
 Dwg No
150EP
 Issue
WD1



lighting plans are done as reflected ceiling plans combined with some fittings

speakers + smart wiring note:
refer owner for possible placement of speakers in ceiling and centralised control point.
refer owner for potential use of smart wiring throughout building.

note: provide power to all fixed appliances including dishwasher, stoves and ovens, fridges etc.

electrics + services legend

- distribution**
 [cb] circuit board [triangle] main switch board
- electrical ceiling items**
 [X] exhaust fan (s/a) smoke alarm [box] heat/light unit
 [fan 3] fan 3 [fan 4] fan 4 [fan 4] fan 4 light [circle] speaker
- lighting**
 [circle] downlight direct [rectangle] fluorescent diffuser
 [circle] downlight eyeball [rectangle] fluorescent diffuser exist
 [triangle] external flood light [line] fluorescent tube
 [circle] paraflood [circle] exit light
 [circle] pendant light [circle] oyster ceiling light
 [circle] wall up light [circle] wall mounted light
 [circle] sensor [circle] bunker
 [gear] bollard

80% by floor area of lighting to be energy efficient fittings.

- power**
 [circle] GPO - double [circle] GPO - existing
 [circle] GPO - single
 [circle] GPO - underbench (double uno) [circle] GPO - waterproof (double uno)
 note: provide power to all fixed & movable appliances.

- sockets**
 [circle] telephone point [circle] tv aerial point
 [circle] computer point [circle] cable tv point

- switches**
 [circle] push button switch [circle] single light switch - 2 way
 [circle] light switch (with no of switches) [circle] single light switch - dimmer

- wall items**
 [circle] clock on wall [circle] exhaust fan in wall
 [circle] vacuum point

- AC items**
ducted
 [circle] supply air - ceiling [circle] return air grille
 [circle] supply air - bulkhead [circle] ac control on wall
split
 [circle] supply air - wall [circle] compressor

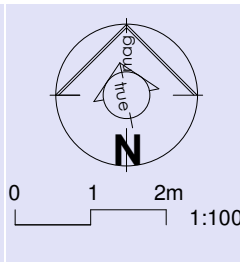
- plumbing items**
 [circle] tap for hose [circle] tap for hose, quarter turn

notes
confirm position of items with owner/principal.
uno - switches at 1150 above finished floor and outlets and sockets at 200 above finished floor.

FOR CONSTRUCTION

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			

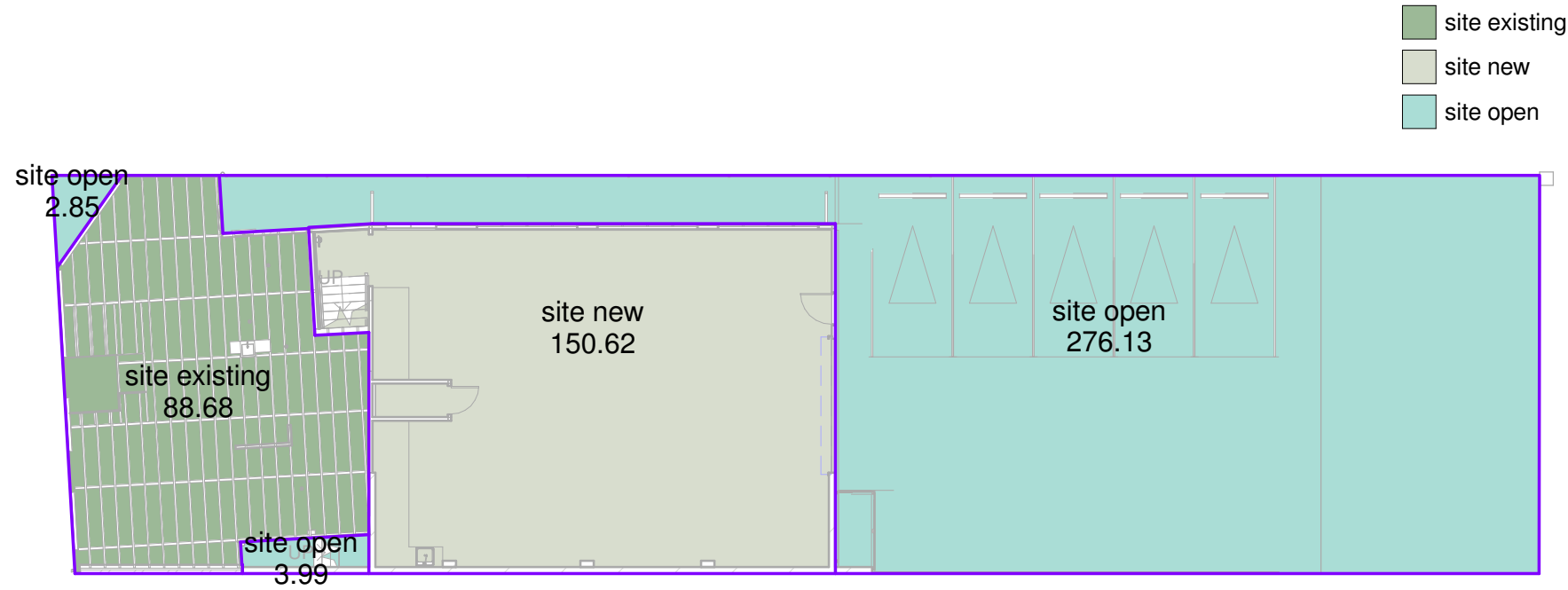


Scale at A3
1 : 100
New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

Level 1 Lighting Plan
 Working Drawings

Job No
0000111
 Dwg No
151EP
 Issue
WD1

Area Schedule (Site Cover)		
name	area	% site
site existing	88.7 m ²	17.0%
site new	150.6 m ²	28.8%
site open	283.0 m ²	54.2%
	522.3 m ²	100.0%



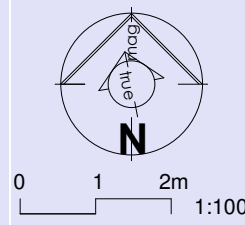
1 site cover plan
1 : 200

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DA2	12.09.16	Revised DA			
DA1	12.05.16	DA Issue			
DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			



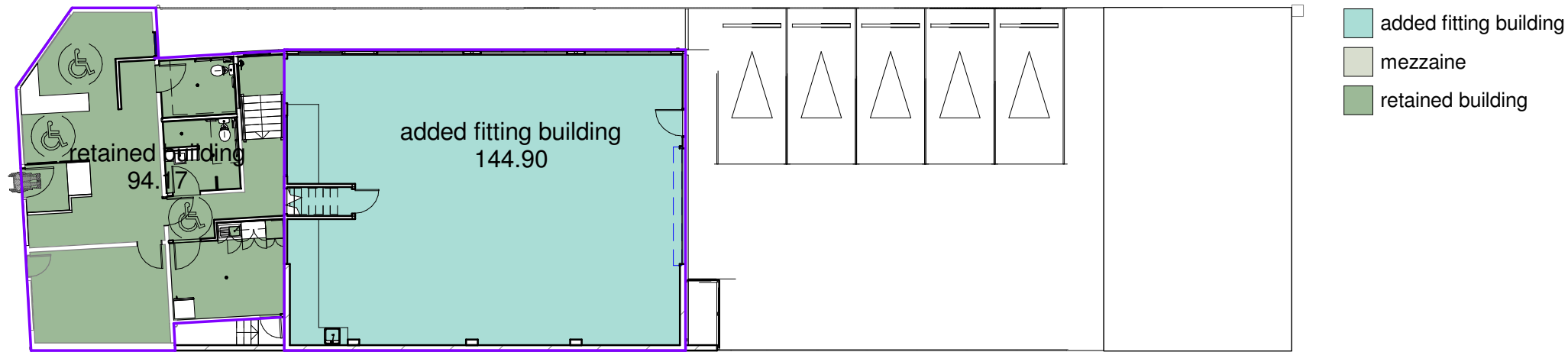
Scale at A3
1 : 200
Designed AB
Drawn AB
Checked PBL

New Fitting Shop
at Main Rd
Busy Area
for Developer

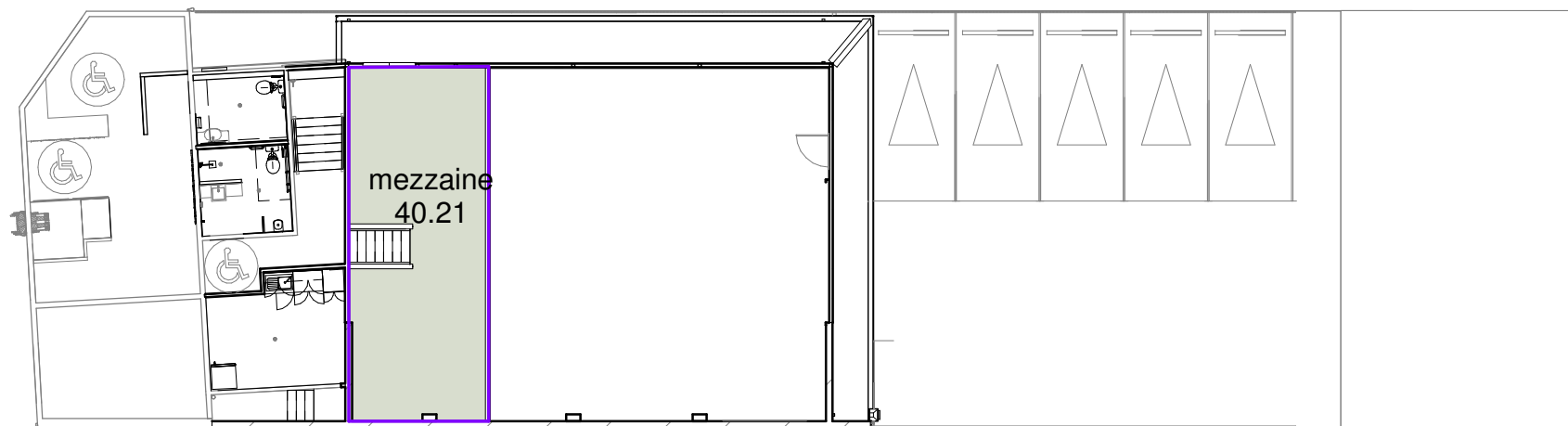
Area Plan Site Cover
Working Drawings

Job No
0000111
Dwg No
171AP
Issue
WD1

Area Schedule (Proposed)		
level	name	area
existing retained		
Level 0	retained building	94.2 m ²
		94.2 m ²
proposed		
Level 0	added fitting building	144.9 m ²
mezzanine	mezzanine	40.2 m ²
		185.1 m ²
Grand total		279.3 m ²



PA0 00 Level 0 Areas Proposed
1 : 200



PA1 01 Mezzanine Areas Proposed
1 : 200

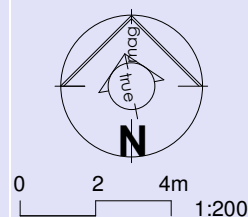
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DA1	12.05.16	DA Issue

Rev	Date	Revision Description



Scale at A3
1 : 200

Designed
AB
Drawn
AB
Checked
PBL

New Fitting Shop

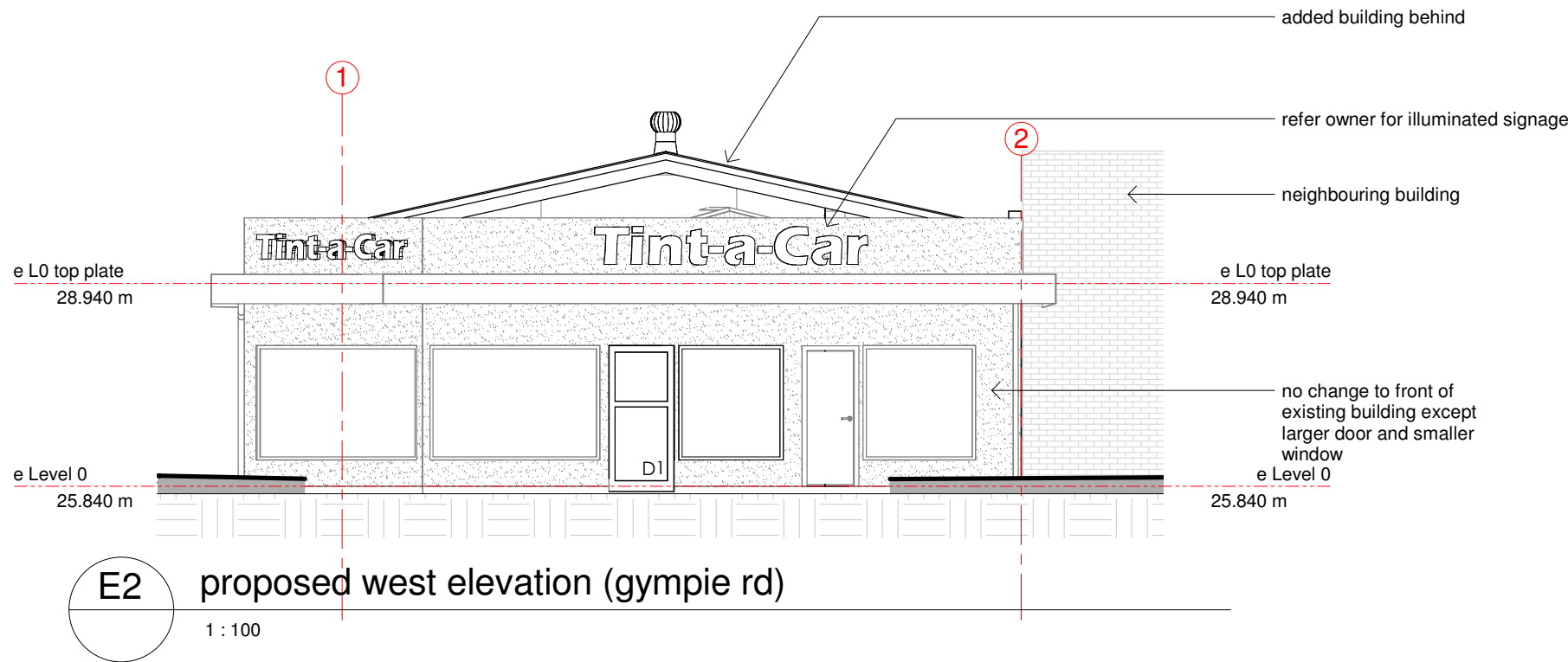
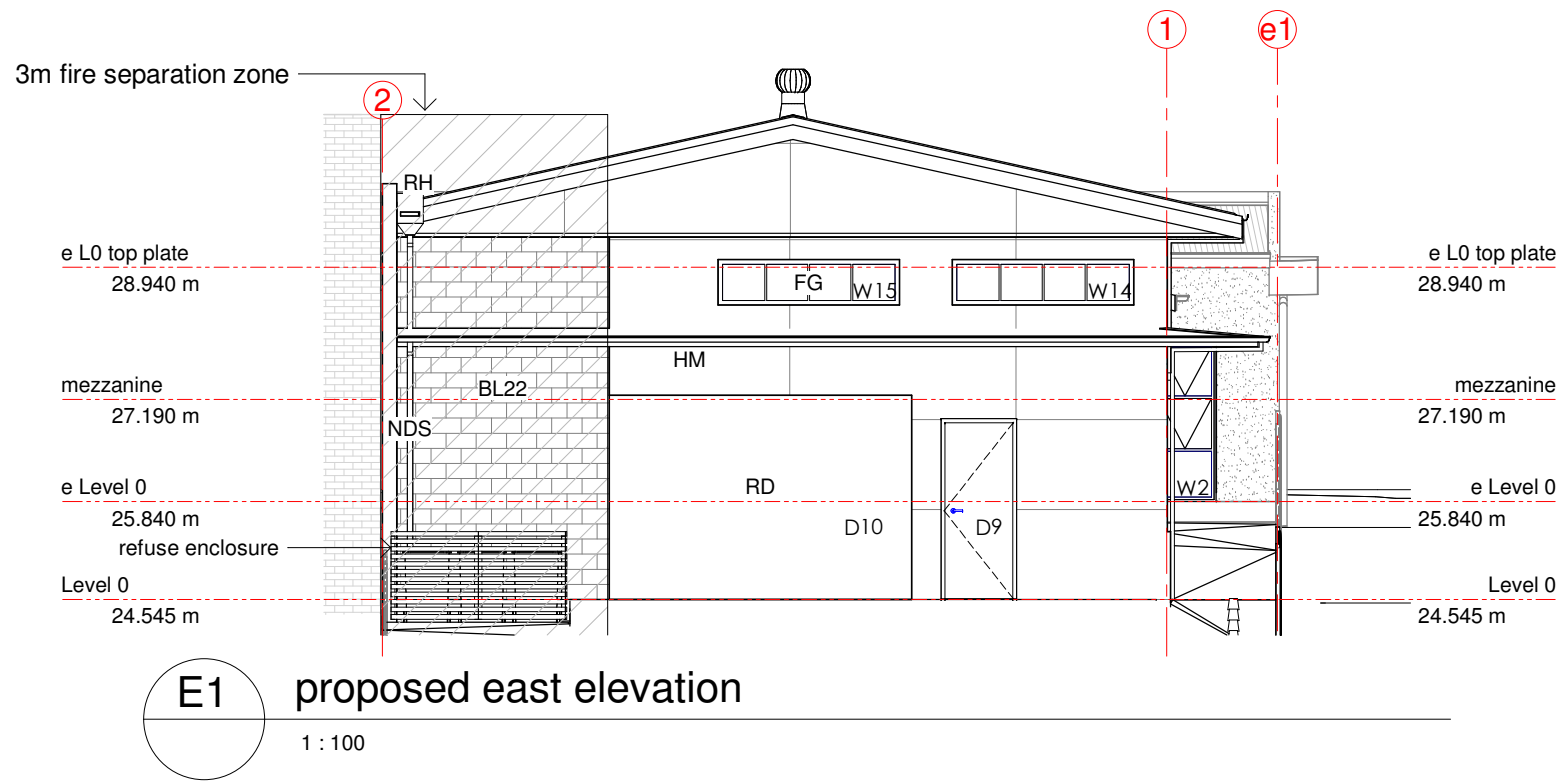
at Main Rd
 Busy Area
 for Developer

Area Plans Overall

Working Drawings

Job No
0000111
 Dwg No
172AP
 Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
FG	FIXED GLAZING
HM	HARDIES MATRIX
NDS	NEW DOWNPIPE SQUARELINE AS SELECTED
RD	ROLLER DOOR
RH	RAINHEAD - SIZED TO FIT GUTTERING SYSTEM AND FIXED AS PER MANUFACTURERS DETAILS



general cladding note:
all claddings to be fixed as per manufacturer's manual. refer designer for any queries.
Hardies Matrix panel installation details can be obtained at <http://www.jameshardie.com.au>

board cladding note:
all horizontal board cladding to have timber stops at corners, as per manufacturer's manual. at openings provide finish timbers as needed.

FOR CONSTRUCTION

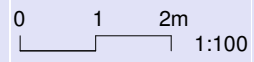


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DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			



Scale at A3
1 : 100

Designed
AB

Drawn
AB

Checked
PBL

New Fitting Shop

at Main Rd
 Busy Area
 for Developer

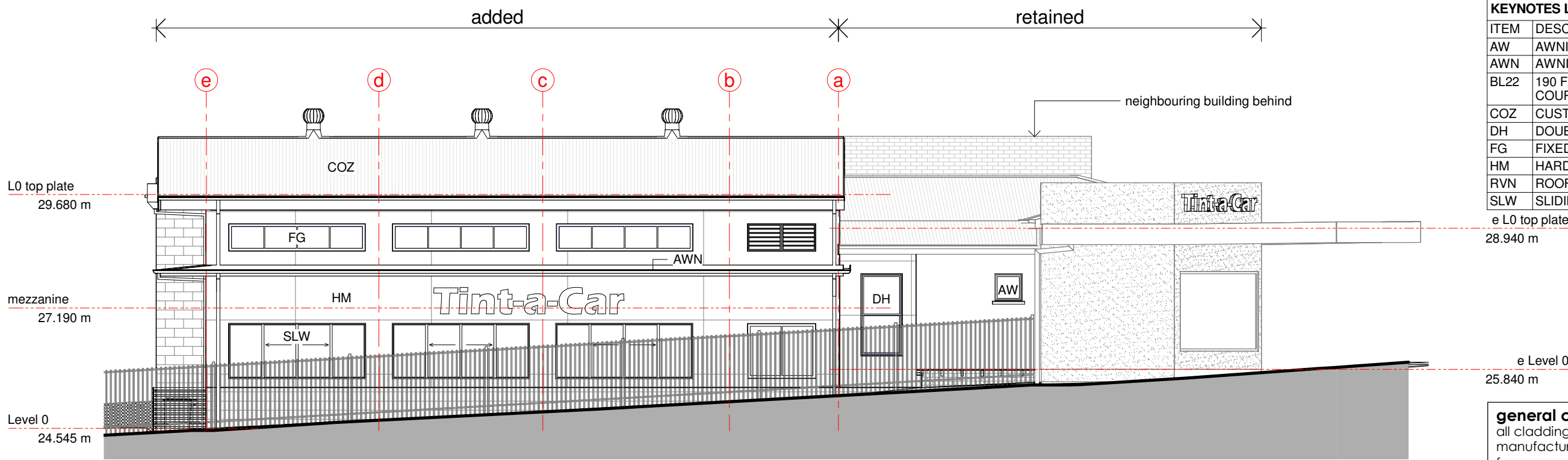
Elevations 1 of 2

Working Drawings

Job No
0000111

Dwg No
201EL

Issue
WD1



KEYNOTES LEGEND	
ITEM	DESCRIPTION
AW	AWNING WINDOW
AWN	AWNING TO DETAIL
BL22	190 FACE BLOCK WALL - 200 COURSING
COZ	CUSTOMORB - ZINCALUME
DH	DOUBLE HUNG
FG	FIXED GLAZING
HM	HARDIES MATRIX
RVN	ROOF VENTILATOR - NEW
SLW	SLIDING WINDOW

e L0 top plate
28.940 m

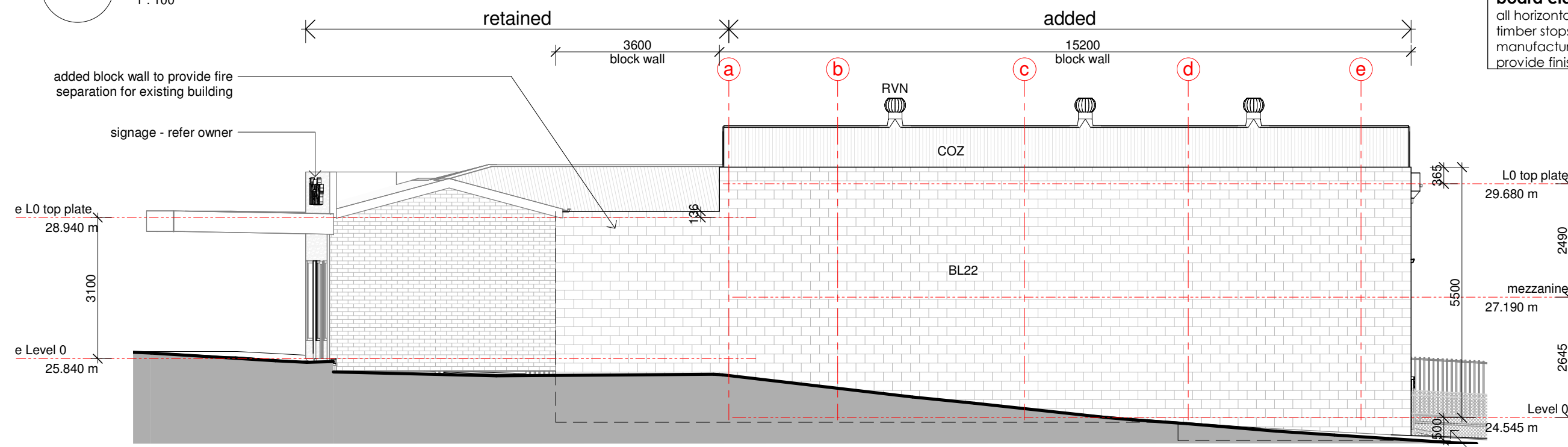
e Level 0
25.840 m

general cladding note:
all claddings to be fixed as per manufacturer's manual. refer designer for any queries.
Hardies Matrix panel installation details can be obtained at <http://www.jameshardie.com.au>

board cladding note:
all horizontal board cladding to have timber stops at corners, as per manufacturer's manual. at openings provide finish timbers as needed.

E3 proposed north elevation (sport st)

1 : 100



E4 proposed south elevation

1 : 100

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DA1 12.05.16	DA Issue			
DD1 05.04.16	Design Review			
SK1 11.03.16	Issue 01			

Scale at A3
1 : 100

Designed
AB

Drawn
AB

Checked
PBL

0 1 2m
1:100

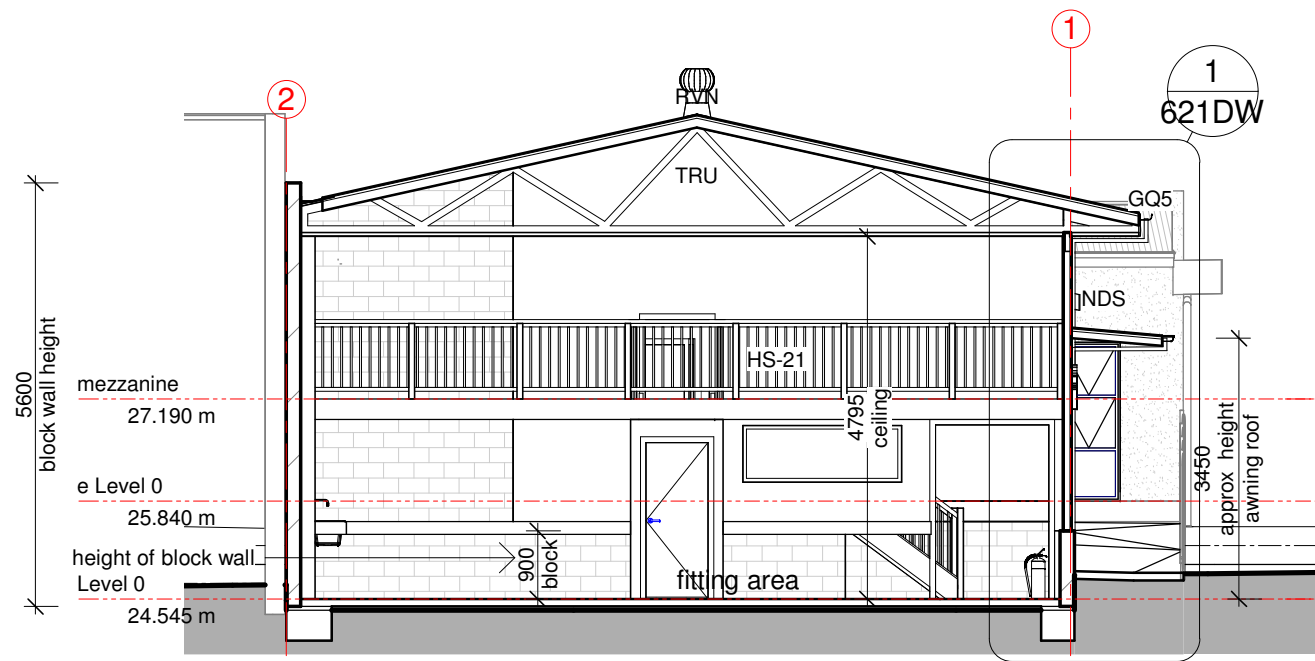
New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

Elevations 2 of 2
 Working Drawings

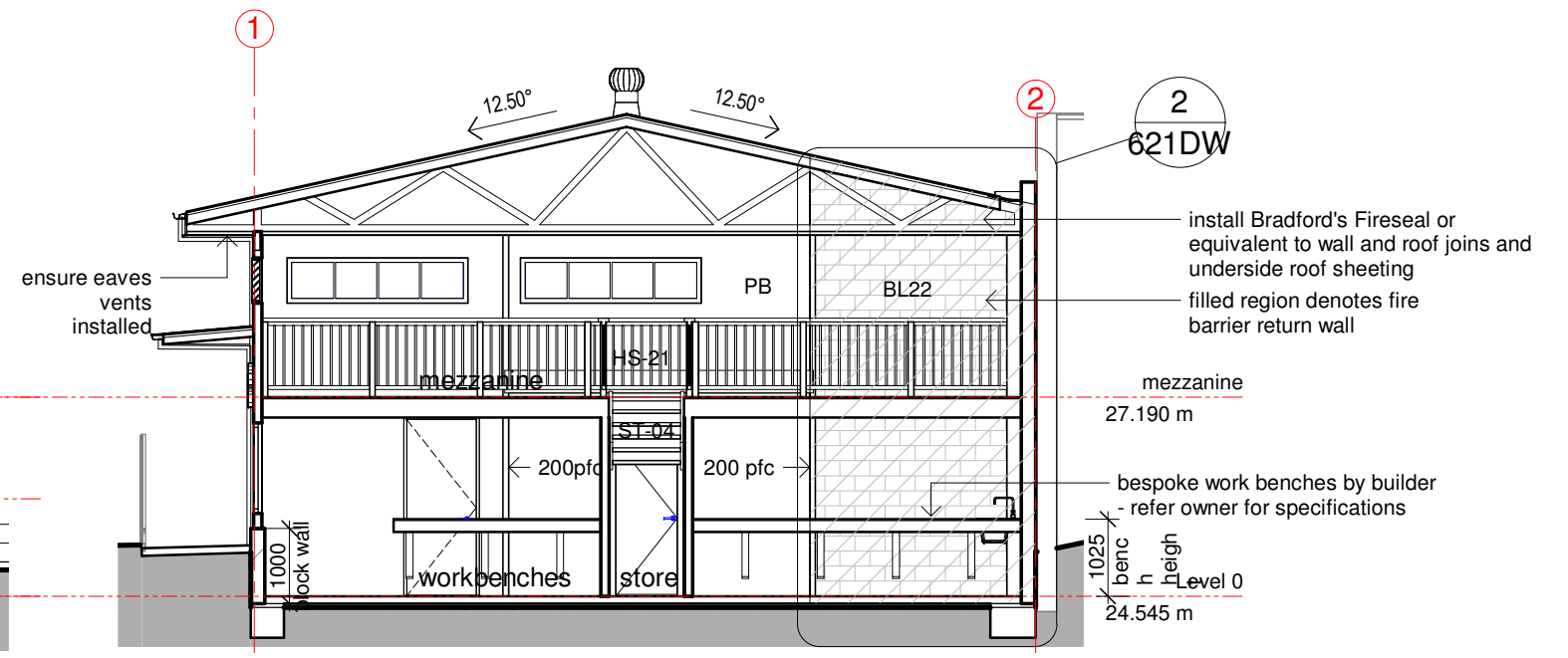
Job No
0000111

Dwg No
202EL

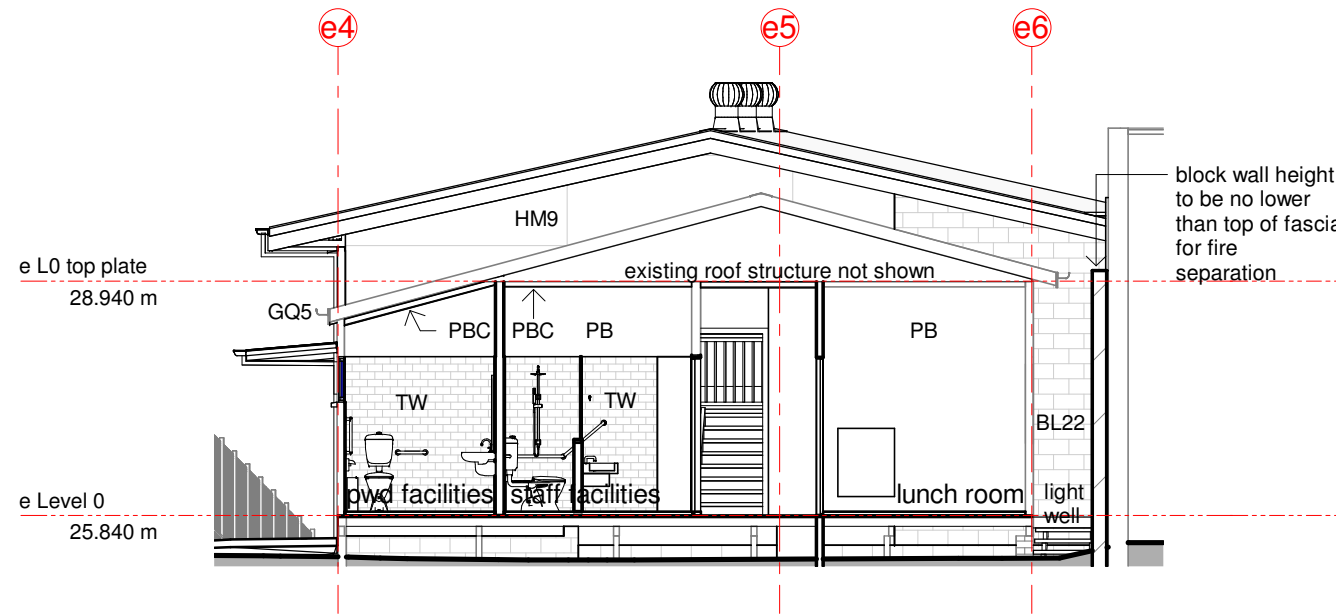
Issue
WD1



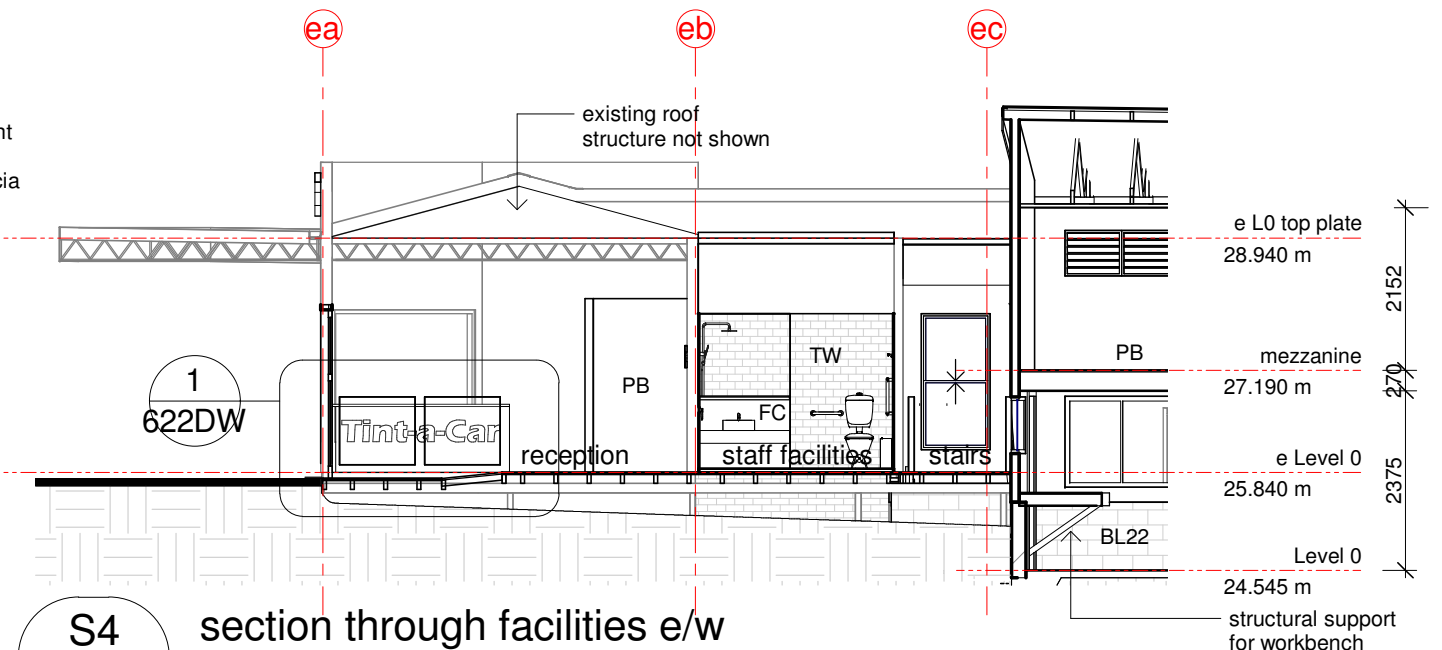
S1 proposed short section towards west
110FP 1 : 100



S2 proposed short section towards east
110FP 1 : 100



S3 section through facilities n/s
110FP 1 : 100



S4 section through facilities e/w
110FP 1 : 100

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING
FC	6mm VERSILUX/HARDIFLEX FIBROUS CEMENT TO INTERNAL/EXTERNAL WALL
GQ5	GUTTER - QUAD 150
HM9	HARDIES MATRIX 900sqq PATTERN
HS-21	HANDRAILS STEEL 1000 HIGH SQUARE RAILS & BALUSTERS

KEYNOTES LEGEND	
ITEM	DESCRIPTION
NDS	NEW DOWNPIPE SQUARELINE AS SELECTED
PB	10mm PLASTERBOARD
PBC	10mm PLASTERBOARD TO CEILING
RVN	ROOF VENTILATOR - NEW
ST-04	TIMBER STAIRS WITH TIMBER STRINGERS CLOSED RISERS-BY MANUFACTURER
TR	TILES (wall) AS SELECTED
TW	TILES (wall) AS SELECTED

FOR CONSTRUCTION



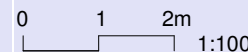
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WD1 22.05.17 Cons Dwgs
DA2 12.09.16 Revised DA
DA1 12.05.16 DA Issue
DD1 05.04.16 Design Review
SK1 11.03.16 Issue 01

Issue	Date	Issue Description	Rev	Date	Revision Description



Scale at A3
1 : 100

Designed
AB
Drawn
AB
Checked
PBL

New Fitting Shop

at Main Rd
Busy Area
for Developer

Sections Cross

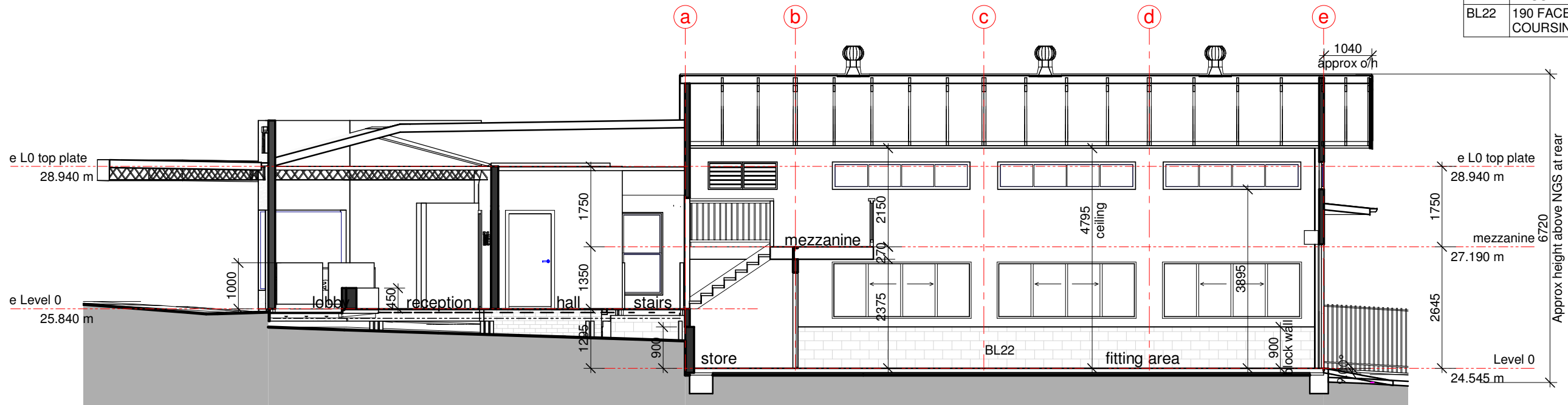
Working Drawings

Job No
0000111

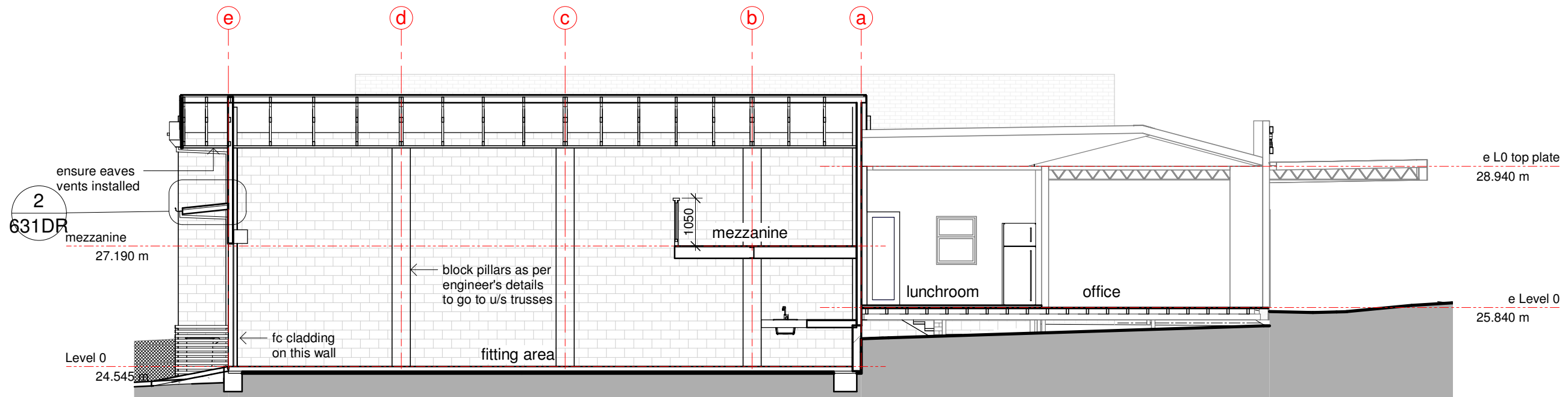
Dwg No
301ST

Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BL22	190 FACE BLOCK WALL - 200 COURSING



S5 prop section through apex
110FP 1 : 100



S6 proposed long section towards south
110FP 1 : 100

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D:\Dropbox (ARC Systems)\02-QARC\QARC-03-Website\QARC-Example DrawingSets\LD\Revit\LD-2015081-Tintacar-ForQARC.rvt

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DA1	12.05.16	DA Issue			
DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			

Scale at A3
1 : 100

Designed
AB

Drawn
AB

Checked
PBL

New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

Sections Longitudinal
 Working Drawings

Job No
0000111

Dwg No
321ST

Issue
WD1



proposed axonometric NE

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DA2	12.09.16	Revised DA			
DA1	12.05.16	DA Issue			
DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			

Scale at A3	New Fitting Shop
Designed AB	at Main Rd
Drawn AB	Busy Area
Checked PBL	for Developer

Axonometric NE
Working Drawings

Job No	0000111
Dwg No	411PD
Issue	WD1

11/10/2016 1:29 PM

D:\Dropbox (ARC Systems)\02-QARC\QARC-03-Website\QARC Example DrawingSets\LD\Revit\LD-2015081-Tintacar-ForQARC.rvt



proposed axonometric NW

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DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			

Scale at A3

New Fitting Shop

Designed AB
 Drawn AB
 Checked PBL

at Main Rd
 Busy Area
 for Developer

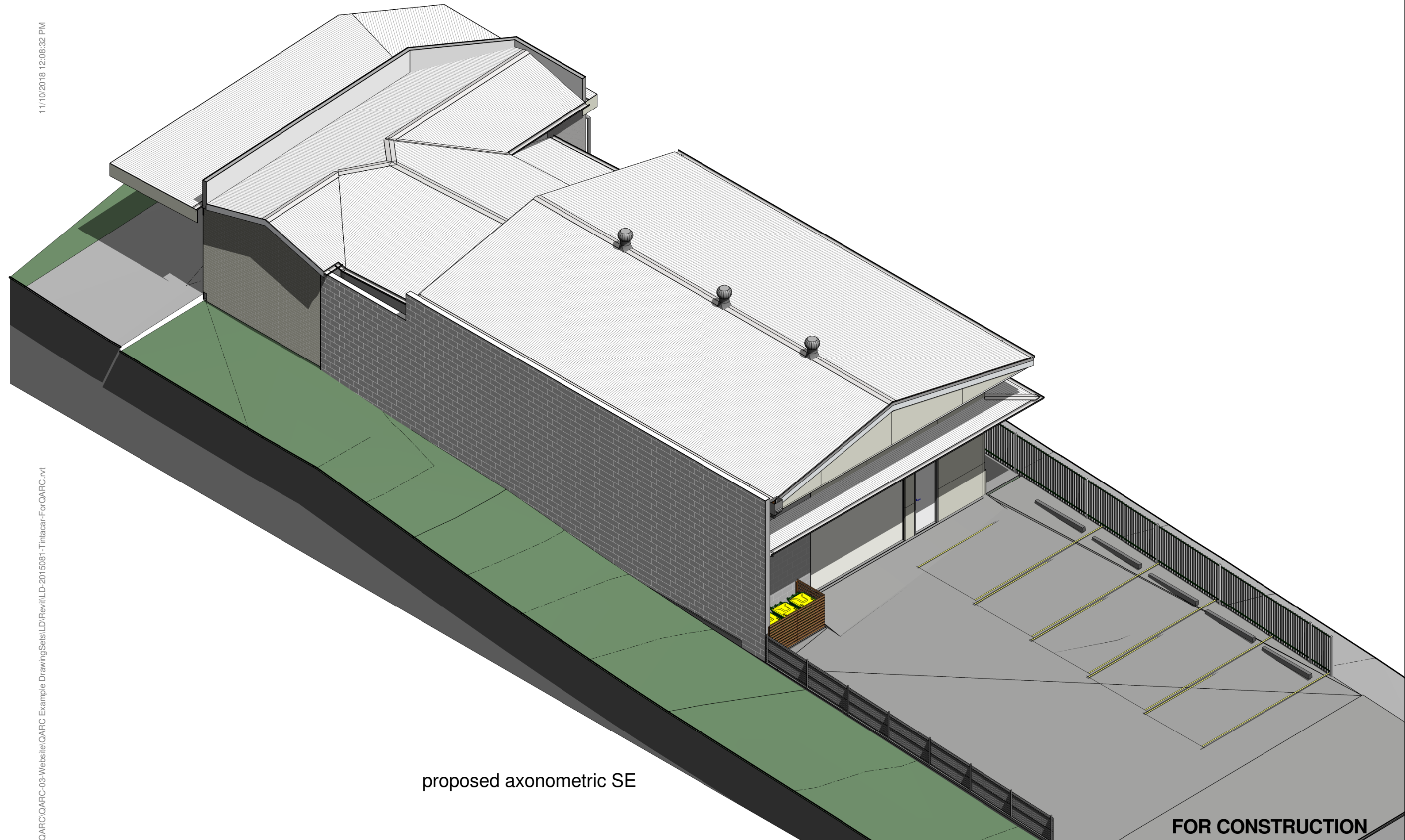
Axonometric NW

Working Drawings

Job No
0000111

Dwg No
412PD

Issue
WD1



proposed axonometric SE

FOR CONSTRUCTION



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WD1 22.05.17 Cons Dwgs
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 DA1 12.05.16 DA Issue
 DD1 05.04.16 Design Review
 SK1 11.03.16 Issue 01

Issue	Date	Issue Description	Rev	Date	Revision Description

Scale at A3

Designed
 AB
 Drawn
 AB
 Checked
 PBL

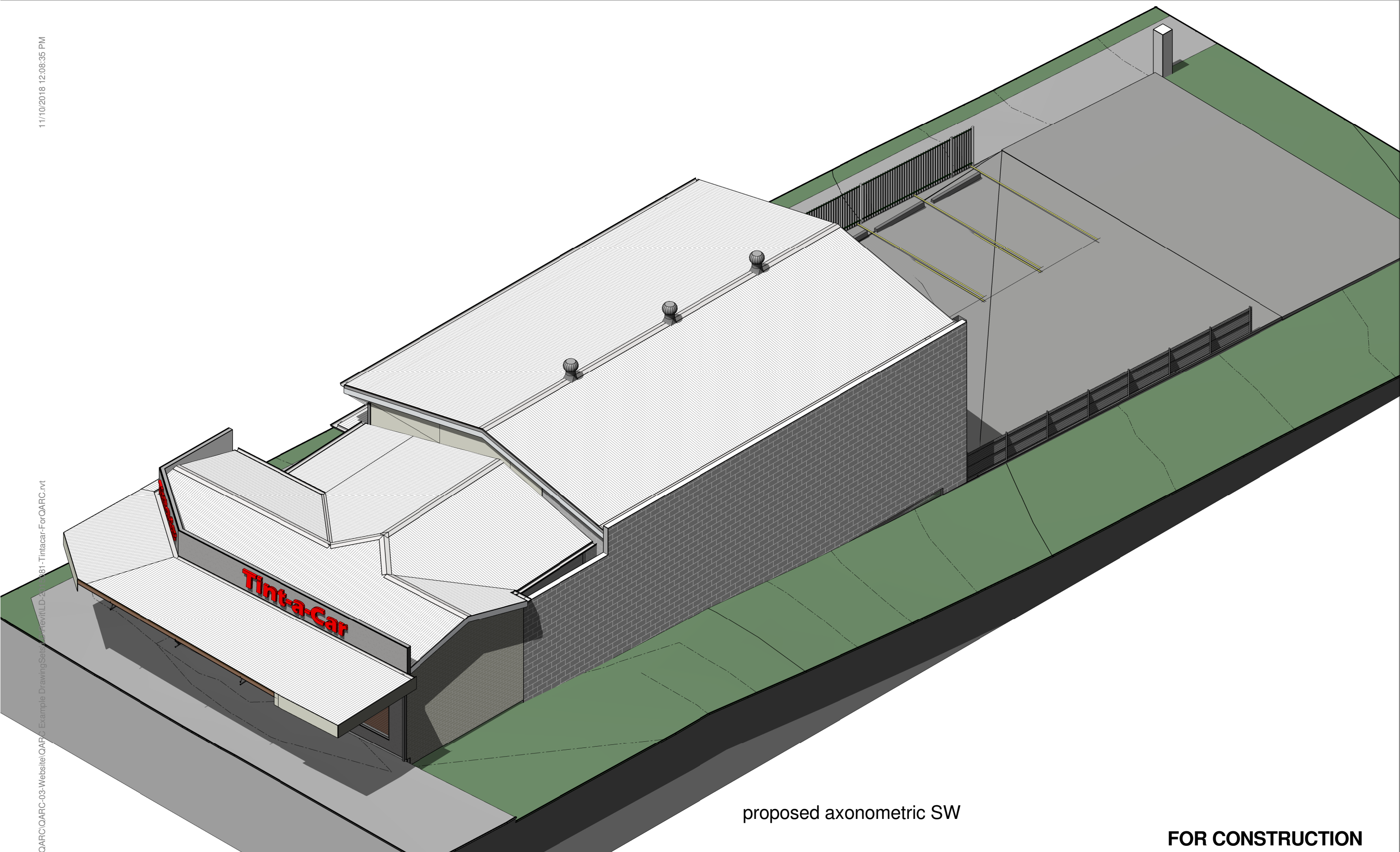
New Fitting Shop

at Main Rd
 Busy Area
 for Developer

Axonometric SE

Working Drawings

Job No
0000111
 Dwg No
413PD
 Issue
WD1



proposed axonometric SW

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Rev	Date	Revision Description

Scale at A3

Designed
 AB
 Drawn
 AB
 Checked
 PBL

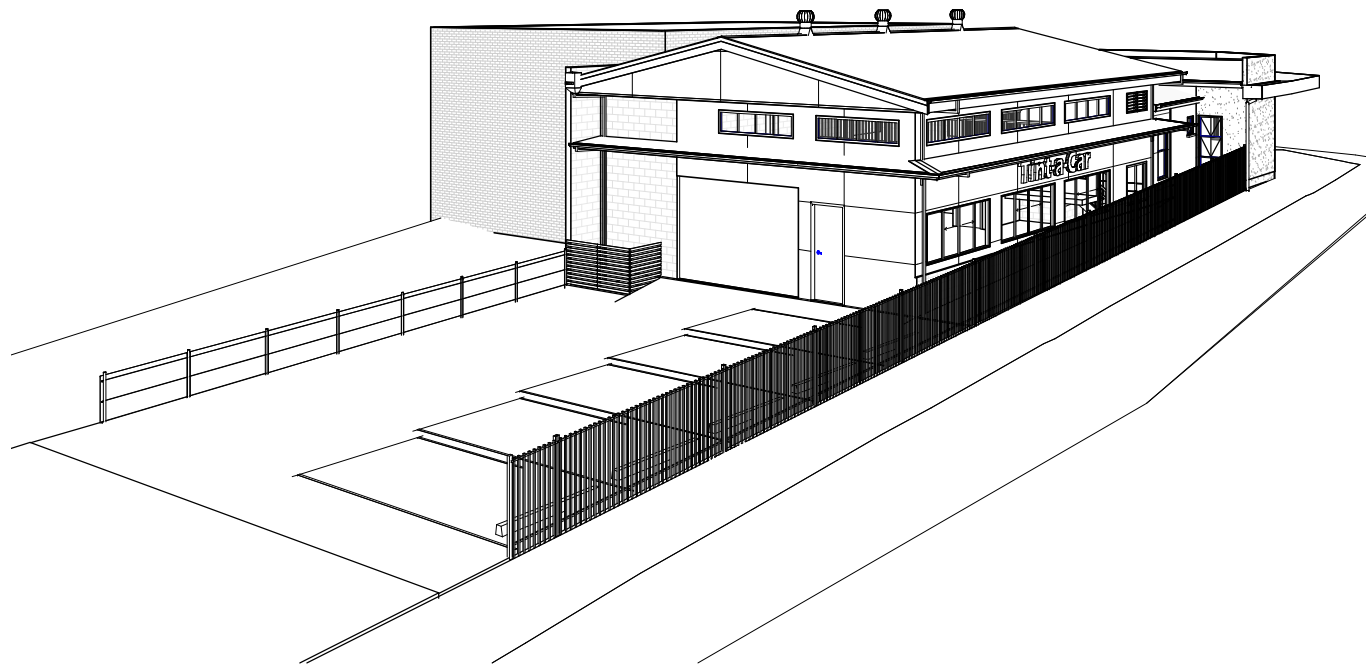
New Fitting Shop

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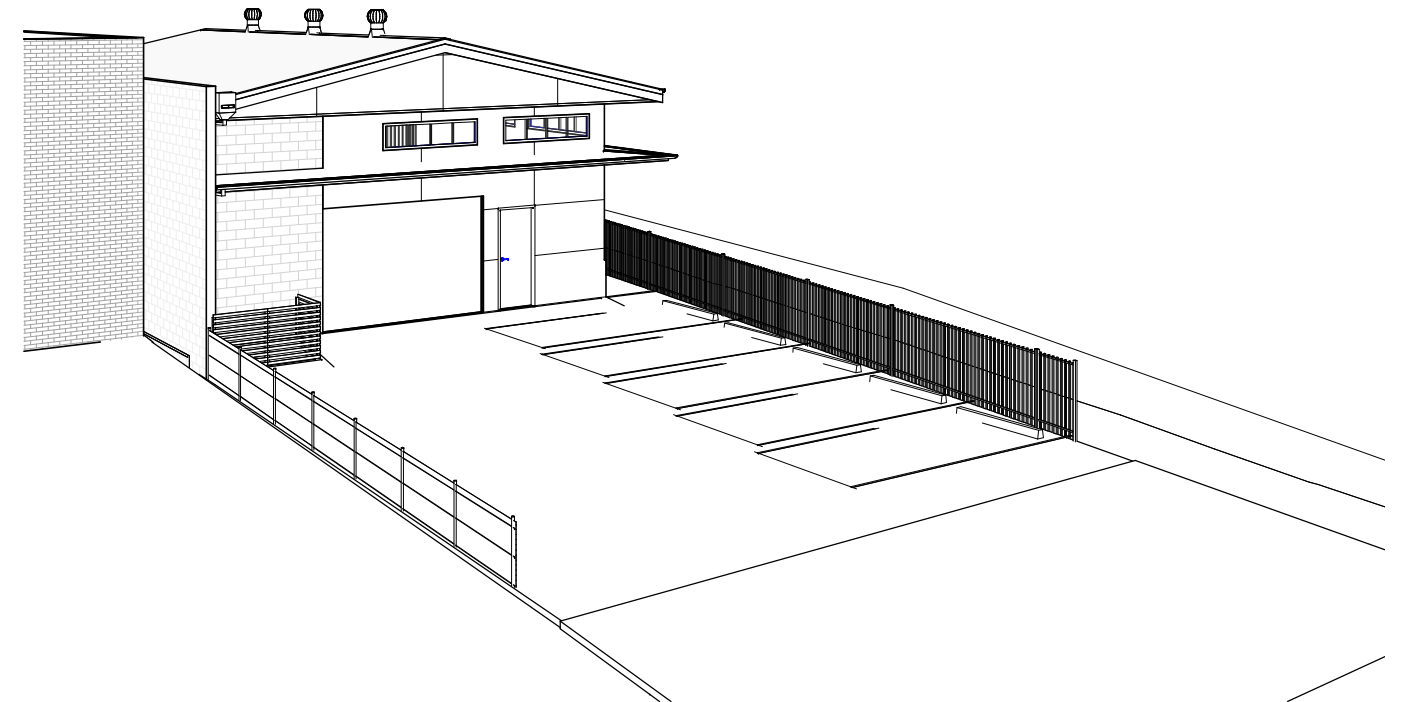
Axonometric SW

Working Drawings

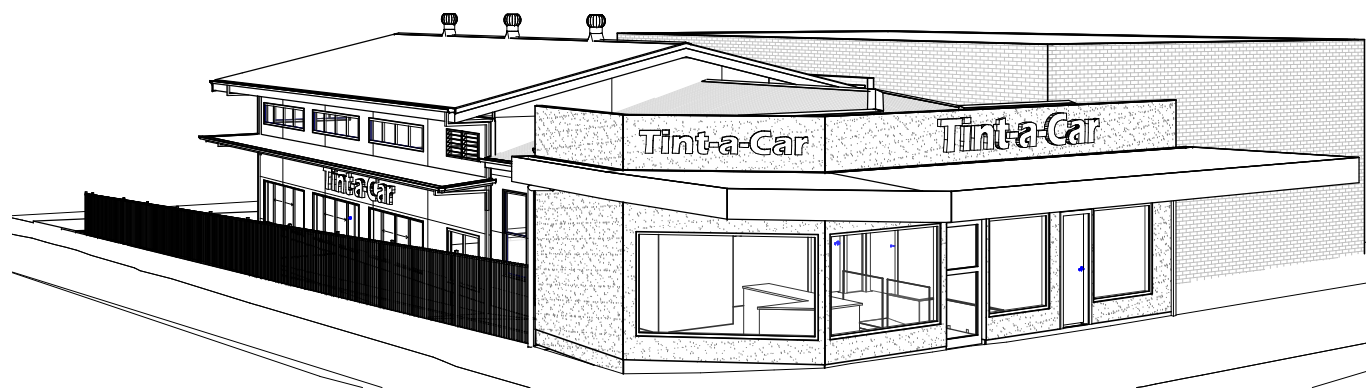
Job No
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 Dwg No
414PD
 Issue
WD1



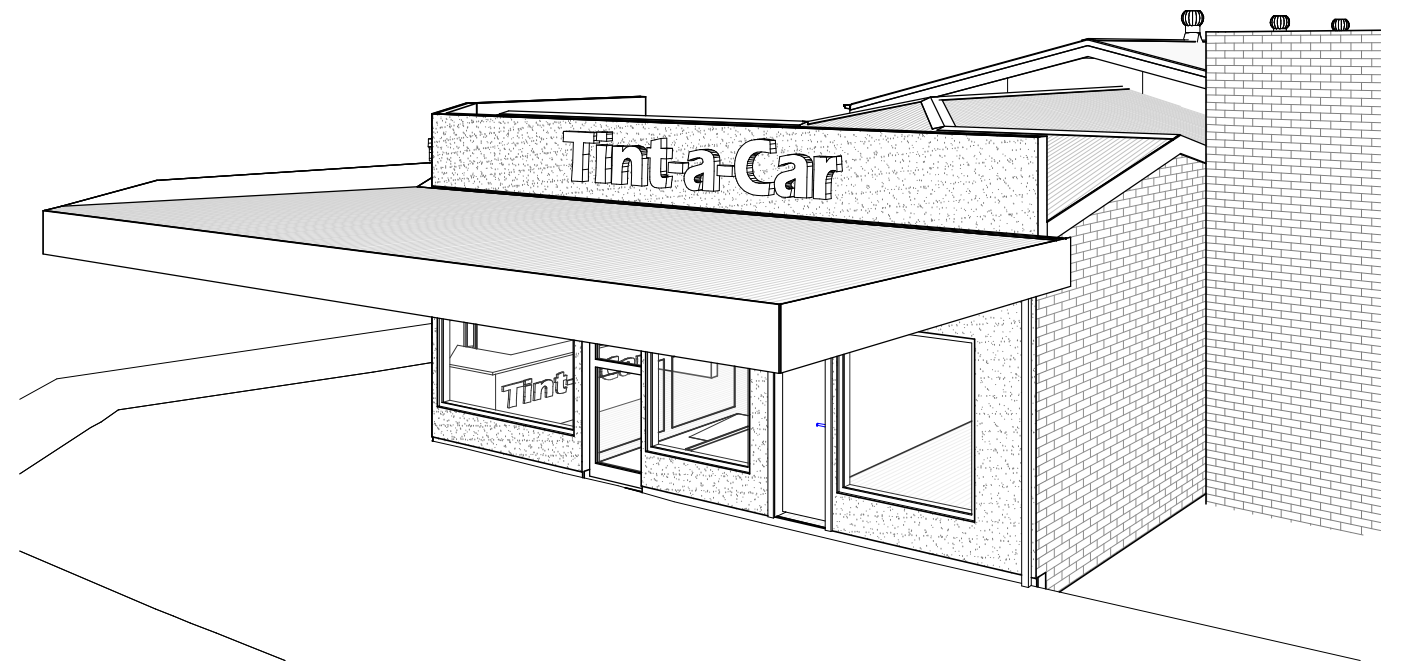
proposed perspective NE



proposed perspective SE



proposed perspective NW



proposed perspective SW



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Issue	Date	Issue Description	Rev	Date	Revision Description

Scale at A3

Designed
 AB
 Drawn
 AB
 Checked
 PBL

New Fitting Shop

at Main Rd
 Busy Area
 for Developer

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External Perspectives

Working Drawings

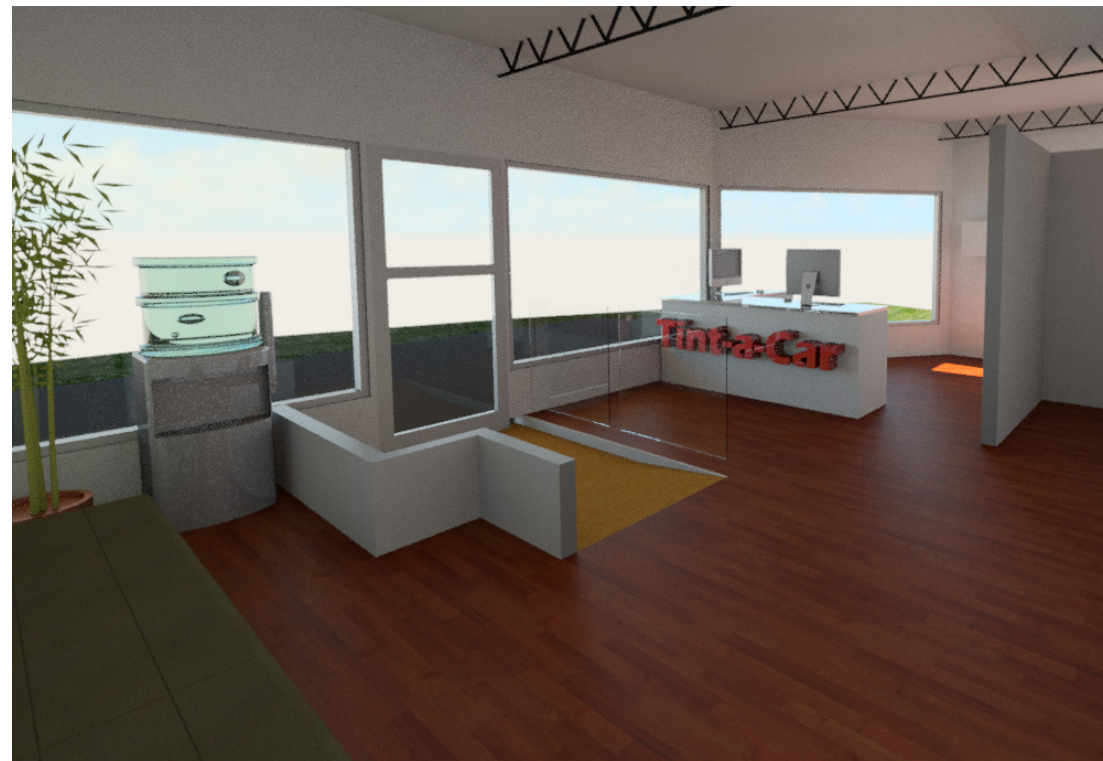
Job No
0000111
 Dwg No
431PD
 Issue
WD1



northern aspect render



east aspect render



shop



link to workshop

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SK1 11.03.16 Issue 01

Issue Date Issue Description Rev Date Revision Description

Scale at A3
1 : 1

Designed
AB
Drawn
AB
Checked
PBL

New Fitting Shop

at Main Rd
Busy Area
for Developer

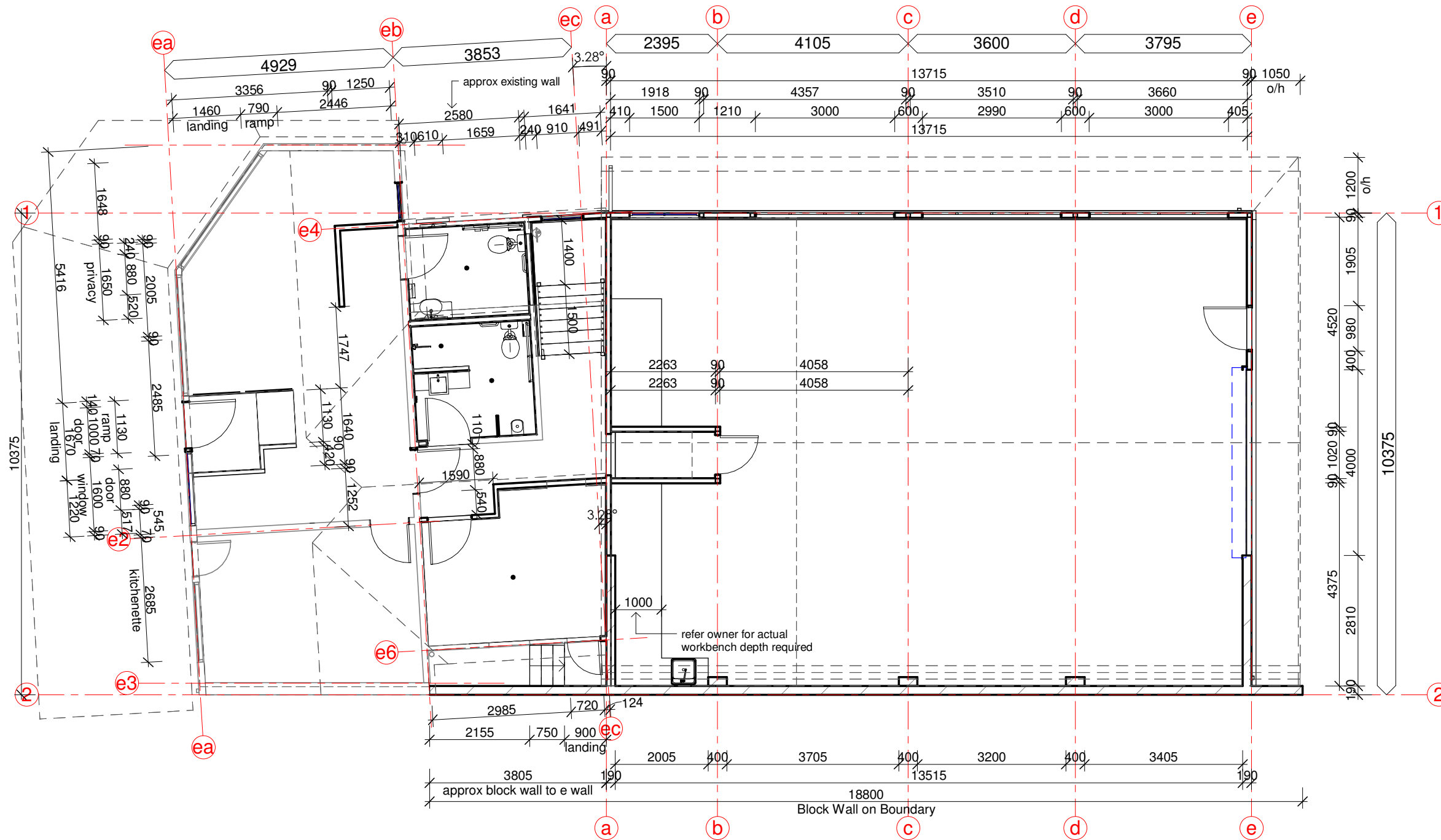
Renders

Working Drawings

Job No
0000111
Dwg No
432PD
Issue
WD1

General Notes - Setout Floor Plans

- 1 Setout Note 1
- 2 Setout Note 2



dimension notes:

Window Dimension Note:
Windows are positioned central in wall spaces unless dimensioned otherwise. Window sizes are usually based on 100mm multiples. As such, adjust openings to suit manufacturer's standard sizes.

Wall thickness note :
New walls thickness dimension shown as 70 or 90 normally, which is frame only.

Renovation Dimension Note:
Dimensions are based on a site measure. All dimensions to be checked prior to any construction and/or fabrication work.
Wall location note (for Building):
Walls are positioned under existing bearers or in line with new steel posts. Dimensions given are to be treated as a guide only, except where wall location is independent of any existing structural elements. Setout of new slab and walls is dependant on existing upper structure as per above, so adjust as needed. Where external walls sit directly under upper external walls, ensure continuous waterproofing is maintained.

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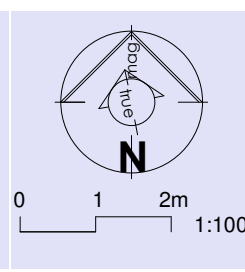


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Issue Date	Issue Description	Rev	Date	Revision Description
WD1 22.05.17	Cons Dwgs			



Scale at A3
1 : 100

New Fitting Shop

Designed AB
Drawn AB
Checked PBL

at Main Rd
Busy Area
for Developer

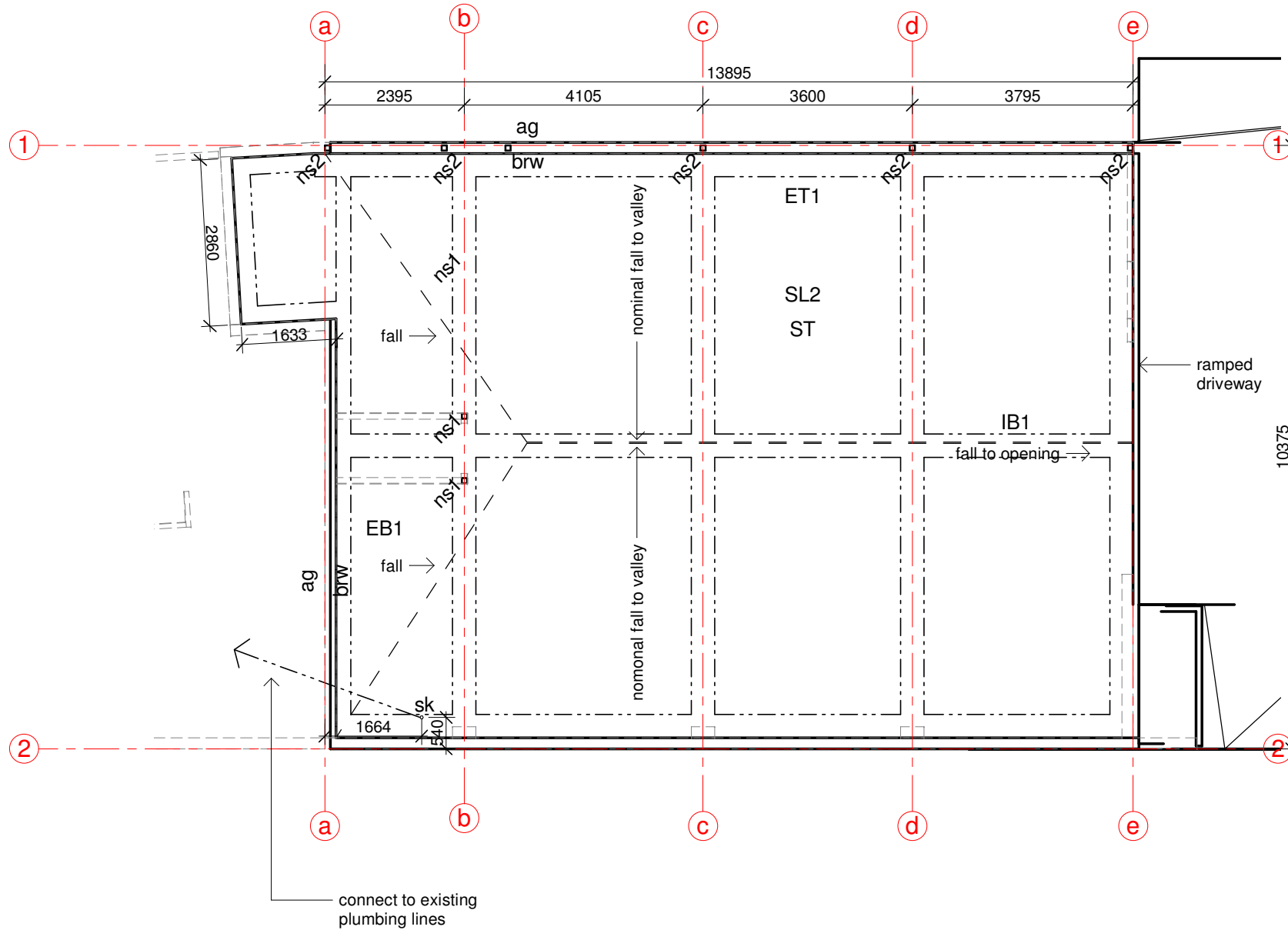
Level 0 Setout

Working Drawings

Job No
0000111

Dwg No
510SE

Issue
WD1



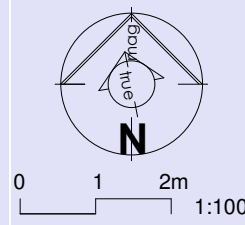
Legend slab plan			
item	size	type	notes
penetration plumbing (approx)			
sk			sink location
posts + footings			
ns1	75 x 4.0	SHS	shs post set into 450dia x 900d footing as per detail
ns2	89 x 4.0	SHS	shs post set into 450dia x 900d footing as per detail
retaining wall			
ag	100dia	ag drain	ag drain location behind retaining wall
brw	200	block	retaining wall over slab
slab			
SL2		slab	slab as per engineer details
slab finish			
ST		slab	steel trowel

General Notes - Slab Plan

- 1 for slab and footing design, refer engineers' drawings and/or report, with on-site inspection by engineer, to be arranged by builder.
- 2 slab construction indicative only. refer engineers drawings for slab construction

ALL SLAB AND FOOTING DESIGNS TO BE READ FROM ENGINEER'S DRAWINGS THIS LAYOUT NOMINAL ONLY

Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			



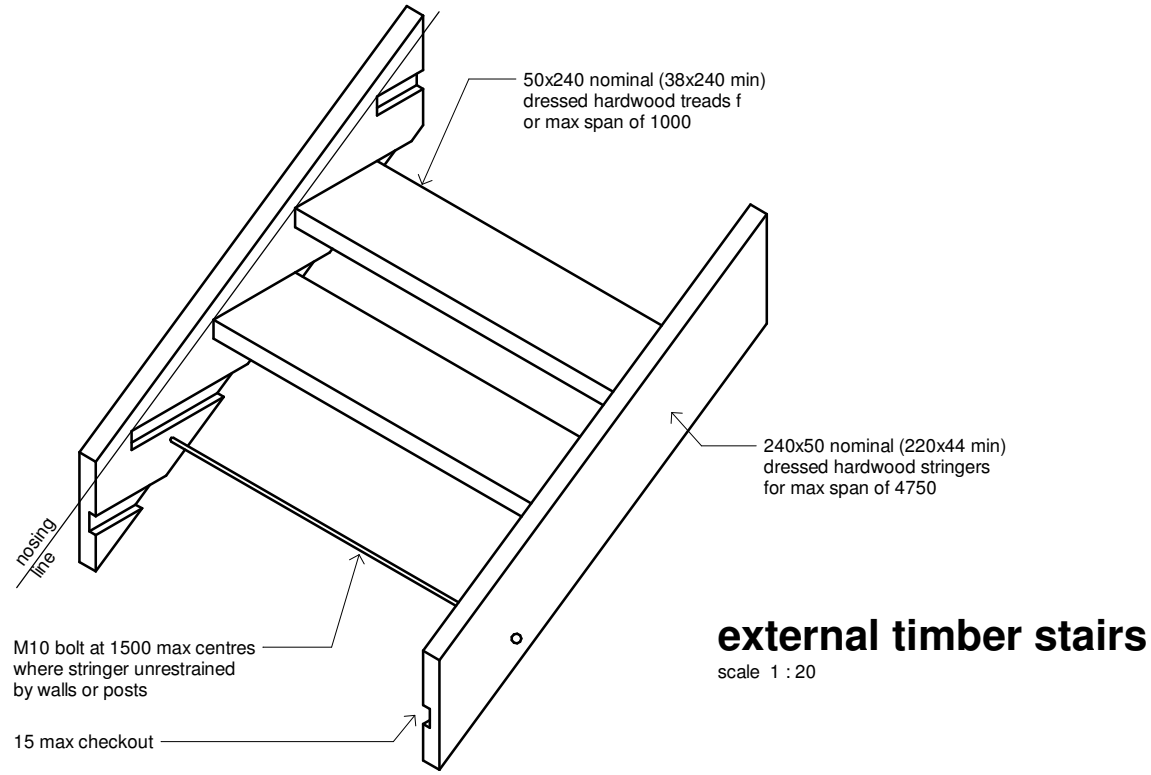
New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

FOR CONSTRUCTION

Level 0 Slab Layout

Working Drawings

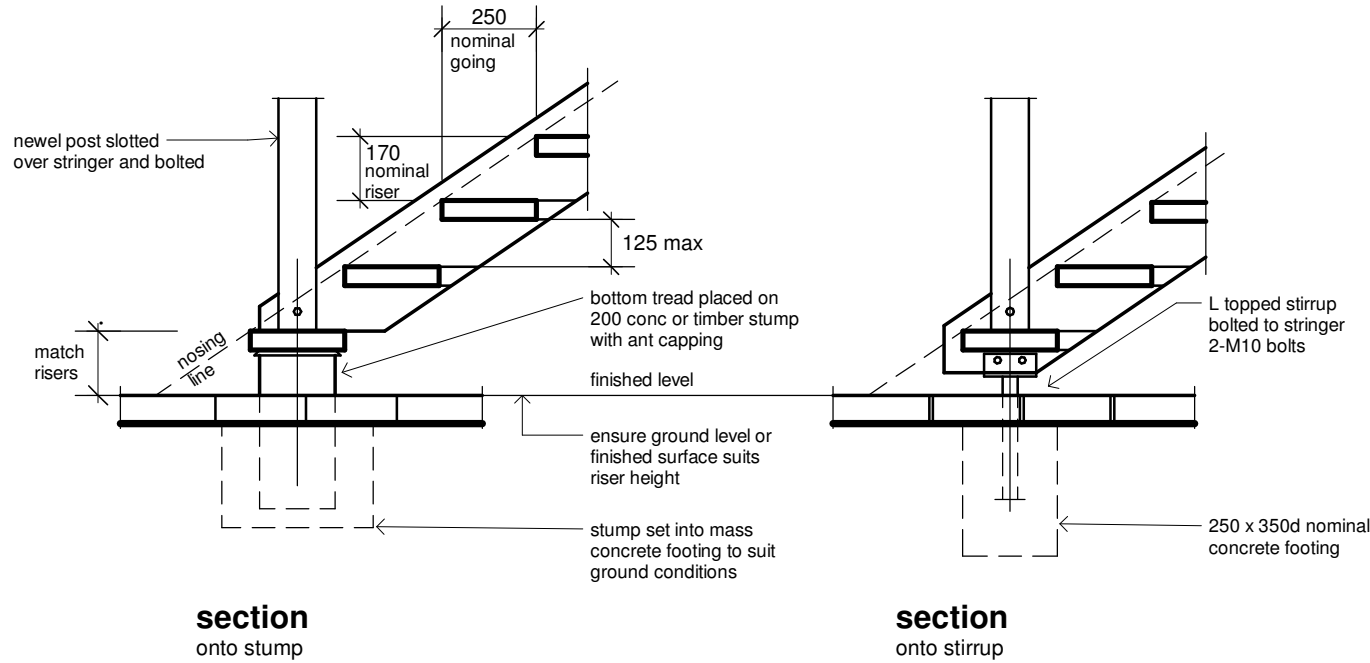
Job No
0000111
 Dwg No
520FT
 Issue
WD1



external timber stairs

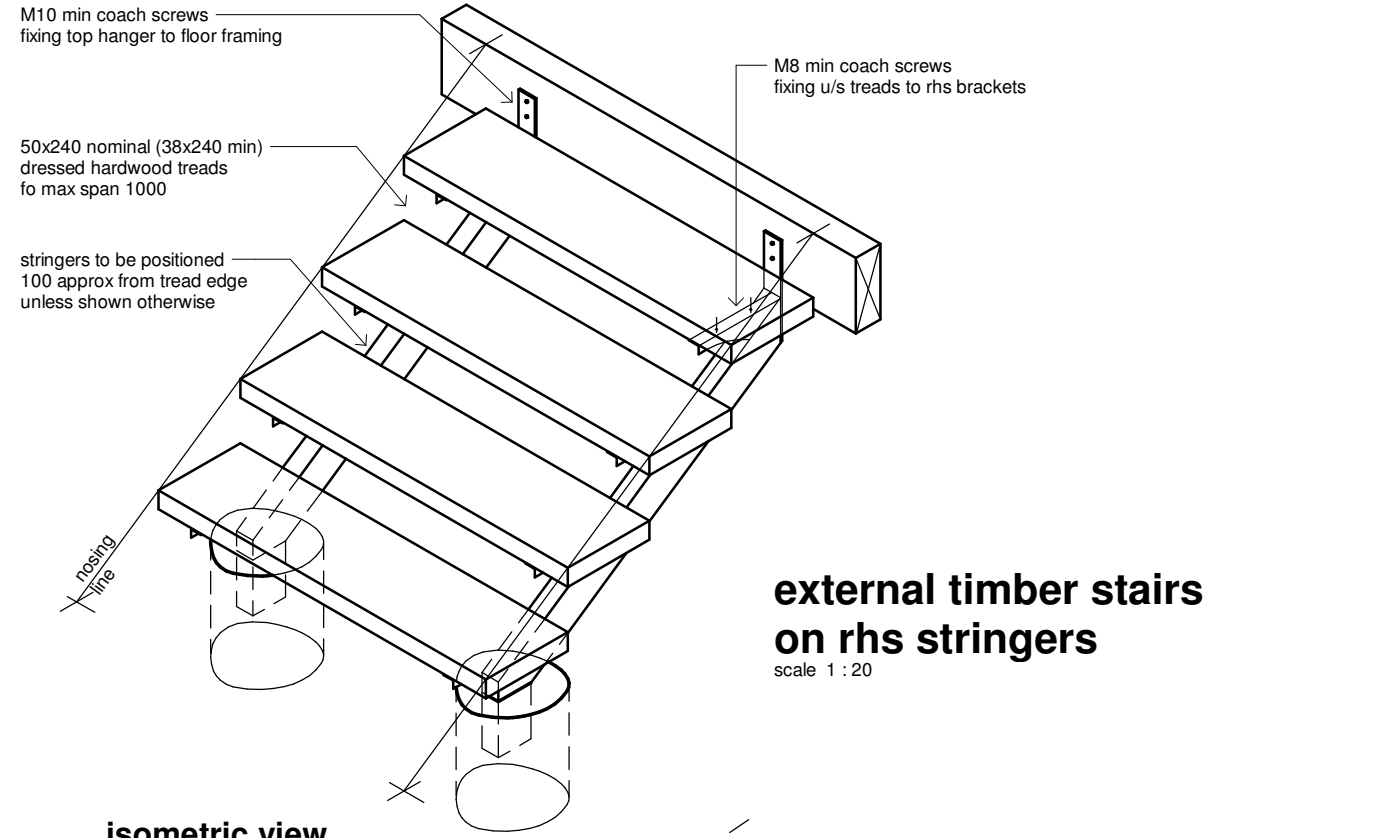
scale 1 : 20

isometric view



section onto stump

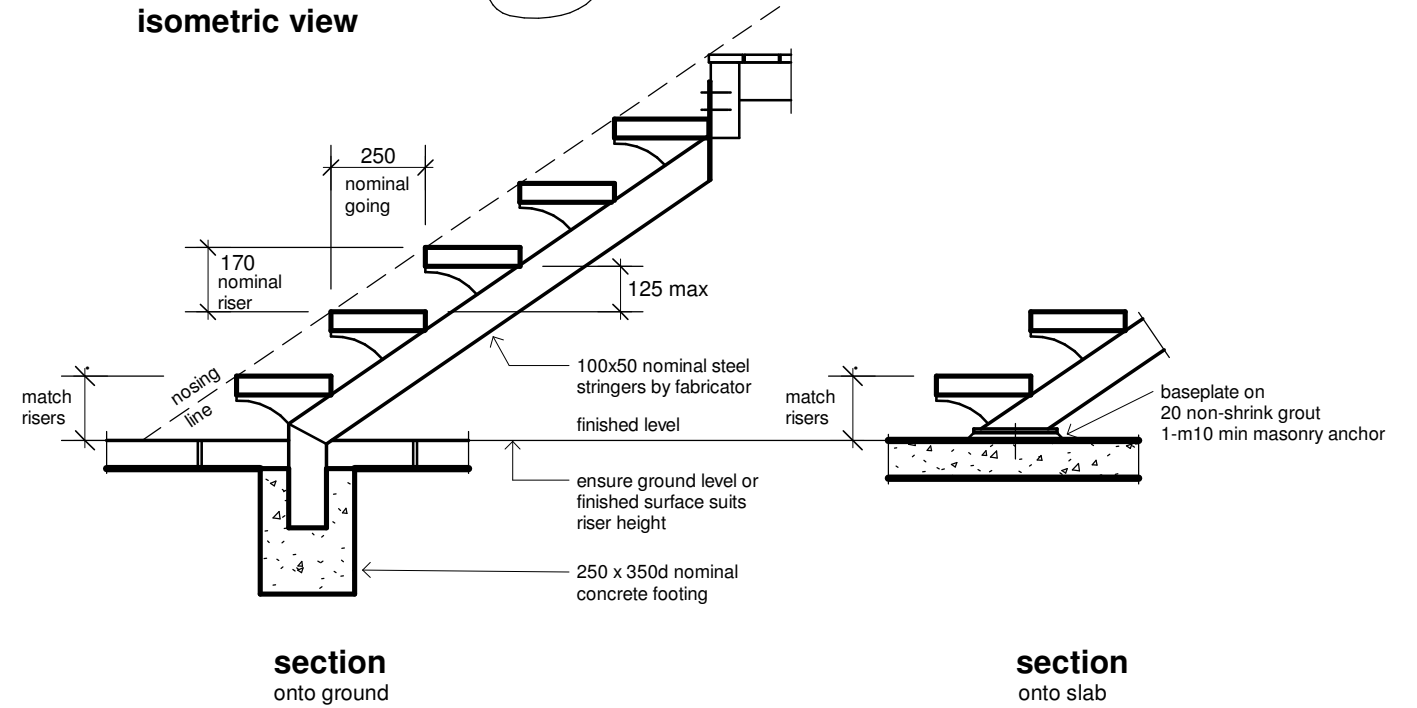
section onto stirrup



external timber stairs on rhs stringers

scale 1 : 20

isometric view



section onto ground

section onto slab

general stair notes

open riser note
open tread style stairs are not to allow 125dia sphere through riser.
if riser space is greater than 125, add batten to u/s nose of treads.

riser + going dimension note
riser: 190 max, 115 min
going: 355 max, 240 min
2R+G = 700 max, 550 min
if 300 treads req'd by main drawings, use 150 nominal risers.

Source:
AS1684,
TRADAC,
Timber Qld,
Generic sources.

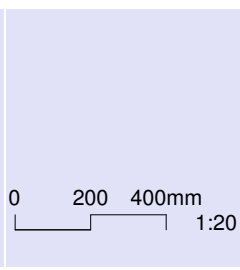
FOR CONSTRUCTION

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			



Scale at A3
1 : 20

New Fitting Shop

Designed AB
Drawn AB
Checked PBL

at Main Rd
Busy Area
for Developer

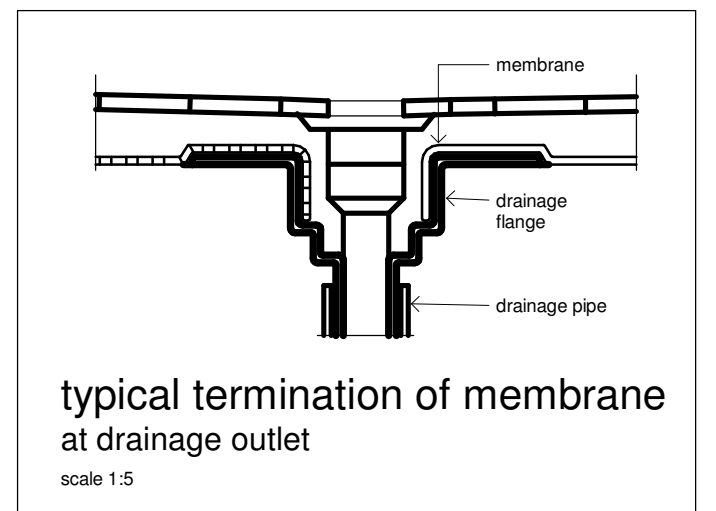
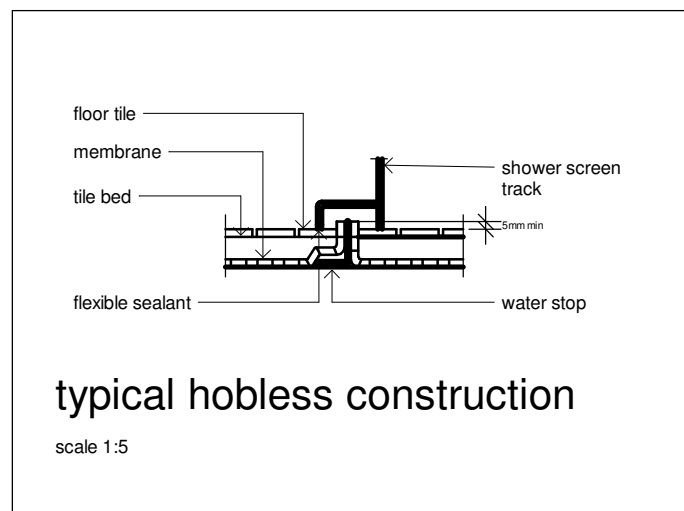
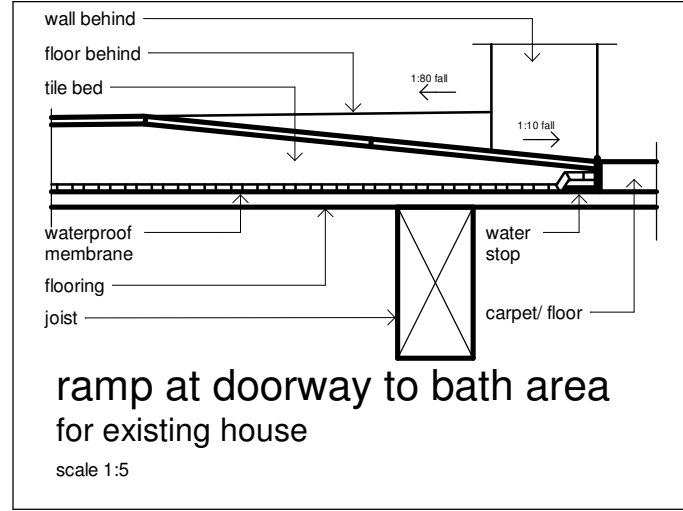
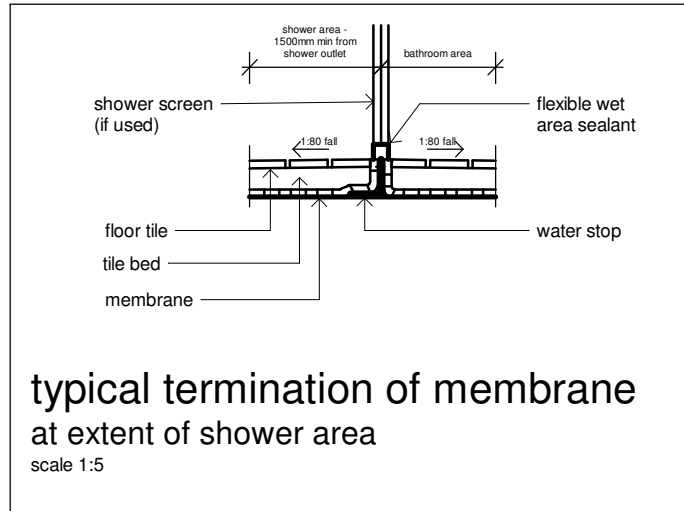
Details - Stairs

Working Drawings

Job No
0000111

Dwg No
601DG

Issue
WD1



please do not ignore these details - they are necessary to remind all on site how to achieve waterproofed wet areas.

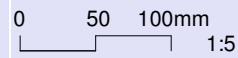
Source - AS 3740

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			



Scale at A3
1 : 5

Designed
AB
 Drawn
AB
 Checked
PBL

New Fitting Shop

at Main Rd
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**Details -
 Waterproofing**

Working Drawings

Job No
0000111
 Dwg No
602DG
 Issue
WD1

Wet Area Zone	Construction Method	Design and Installation Criteria			
		Floor	Walls	Wall Junctions	Penetrations
Shower	both concrete and timber floors	enclosed and hobbled - note that hob must not be constructed of timber			
		waterproofed with membranes meeting AS/NZS 4858 installed above tile bed with floor waste	waterproof to 150mm min above floor substrate water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system
		enclosed and hobless			
	waterproofed with membranes meeting AS/NZS 4858 installed above tile bed with floor waste and waterstop	waterproof to 150mm min above floor substrate water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system	
	enclosed and preformed shower base				
concrete slab or FC flooring	unenclosed				
	waterproofed with membranes meeting AS/NZS 4858 installed above tile bed 1500mm radius from shower rose, with floor waste	water resistant to 1800mm min above finished floor (see water resistant options)	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system	
Area outside shower	concrete slab or FC flooring	water resistant with floor waste within 1500mm radius	n/a	waterproof all floor to wall junctions. horizontal leg of flashing a minimum of 50mm	n/a
	timber floors (ie. particleboard or plywood or other timber materials)	waterproofed with membranes meeting AS/NZS 4858 water resistant with floor waste within 1500mm radius	n/a	waterproof all floor to wall junctions. horizontal leg of flashing a minimum of 50mm	n/a
Entire Bathroom Floor with a floor waste	concrete slab or FC flooring	waterproofed with membranes meeting AS/NZS 4858 with floor waste	n/a	wall to floor junctions sealed with flashing 25mm up wall above finished floor	n/a
	timber floors (ie. particleboard or plywood or other timber materials)	waterproofed with membranes meeting AS/NZS 4858 with floor waste	n/a	wall to floor junctions sealed with flashing 25mm up wall above finished floor	n/a
Insert Baths	n/a	n/a to floor under bath. entire plinth waterproofed with waterstop under bath lip and project 5mm min above tiles	n/a to wall under bath. waterproof 150mm minimum above bath lip	seal edges at wall junction of vessel	n/a
Shower over Bath	concrete slab or FC flooring	waterproof 1500mm minimum radius of shower rose radius with floor waste in zone	water resistant 1500mm min radius from shower rose	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system
	timber floors (ie. particleboard or plywood or other timber materials)	waterproof entire floor with membranes meeting AS/NZS 4858 floor waste located as needed	water resistant 1500mm min radius from shower rose	waterproof corners with a minimum of 40mm and a minimum height of 1800mm	waterproof with sealant or propriety flange system
Adjacent to bath/spa	concrete slab or FC flooring	water resistant (see water resistant options)	water resistant to 150mm min. above vessel	waterproof corners with a minimum of 40mm and a minimum height of 1800mm seal edges of vessel and junction of bath with floor and wall junctions	horizontal surface: waterproof vertical surface: water resistant
	timber floors (ie. particleboard or plywood or other timber materials)	waterproof if shower is included in bath, apply shower wall requirements	water resistant to 150mm min. above vessel	waterproof corners with a minimum of 40mm and a minimum height of 1800mm seal edges of vessel and junction of bath with floor and wall junctions	horizontal surface: waterproof vertical surface: water resistant
Areas adjoining sinks basins and/or tubs	n/a	water resistant (see water resistant options)	water resistant to 150mm min. above vessel	waterproof with a minimum of 150mm. seal edges at wall	horizontal surface: waterproof vertical surface: water resistant
Laundries and Wc's	n/a	water resistant (see water resistant options)	water resistant to 1200 high behind tub/machine location	waterproof all wall to floor junctions. horizontal leg of flashing to be 50mm minimum	waterproof with sealant or propriety flange system
Laundries and Wc's with a floor waste	n/a	waterproofed with membranes meeting AS/NZS 4858 with floor waste	water resistant to 1200 high behind tub/machine location	waterproof with a minimum of 40mm. seal wall to floor junctions with flashing 52mm minimum above finished floor	waterproof with sealant or propriety flange system

Water proof Materials:
 membranes meeting the requirements of AS/NZS4858. membrane can be placed either above or below tile bed as preferred. no traffic until membrane is cured (to manufacturer's instructions). if no mortar bed layed, immediately protect membrane, overlay with fc sheeting during construction.

penetrations for taps, shower roses, etc. shall be waterproofed by sealing with propriety flange systems or a sealant. when sealing the tap body the housing shall be able to be removed to allow washer replacement without seal damage. penetrations on horizontal surfaces shall be waterproofed by sealing with propriety flange systems or by sealing the tap body to the substrate.

waterproofing systems and their installation shall resist loadings, shrinkage and expansion, temperature variations, movement tolerance and exposure to cleaning chemicals and alkalis from cement mortar. waterproofing systems shall also accommodate any expected movement at movement joints in the substrate.

acrylic shower bases shall be supported to prevent distortion or cracking, sufficiently recessed into the wall to allow water resistant surface materials to pass down inside the perimeter rebate of the shower base. when installing acrylic shower bases, the integrity of the structure shall be maintained.

all wet area trades are to have AS3740 in possession on site to cross check actual building against performance requirements of standard.

new elevated wet area finished floor level must be flush with finished floor level of adjacent room. where relocation of a bathroom occurs within an existing building, ramping at the doorway (at 1:10) up to the new bathroom finished floor level must occur (see detail).
 new slab wet area floor to be set down 50mm

all sealants shall be waterproof, flexible, mould resistant and compatible with adjacent materials.

all adhesives used in a waterproofing system shall be waterproof and compatible with adjacent materials.
 the ratio of falls in both shower and bathroom floor locations should be no less than 1:80. there will be no sharp edges or significant lipping in floor tiling.

where required by manufacturer, materials shall be cured in accordance with the manufacturer's instructions.

bond breakers are required at all wall/floor, hob/wall and at movement joints where the membrane is bonded to the substrate.

Designer requires waterproofing to entire floor area. any changes made by builder should be no less than the requirements as listed or by AS 3740. Designer suggests use of Hardies Scyon wet area flooring.

Source - AS 3740

FOR CONSTRUCTION



WD1 22.05.17 Cons Dwgs
 Issu Date Issue Description

Rev Date Revision Description

New Fitting Shop

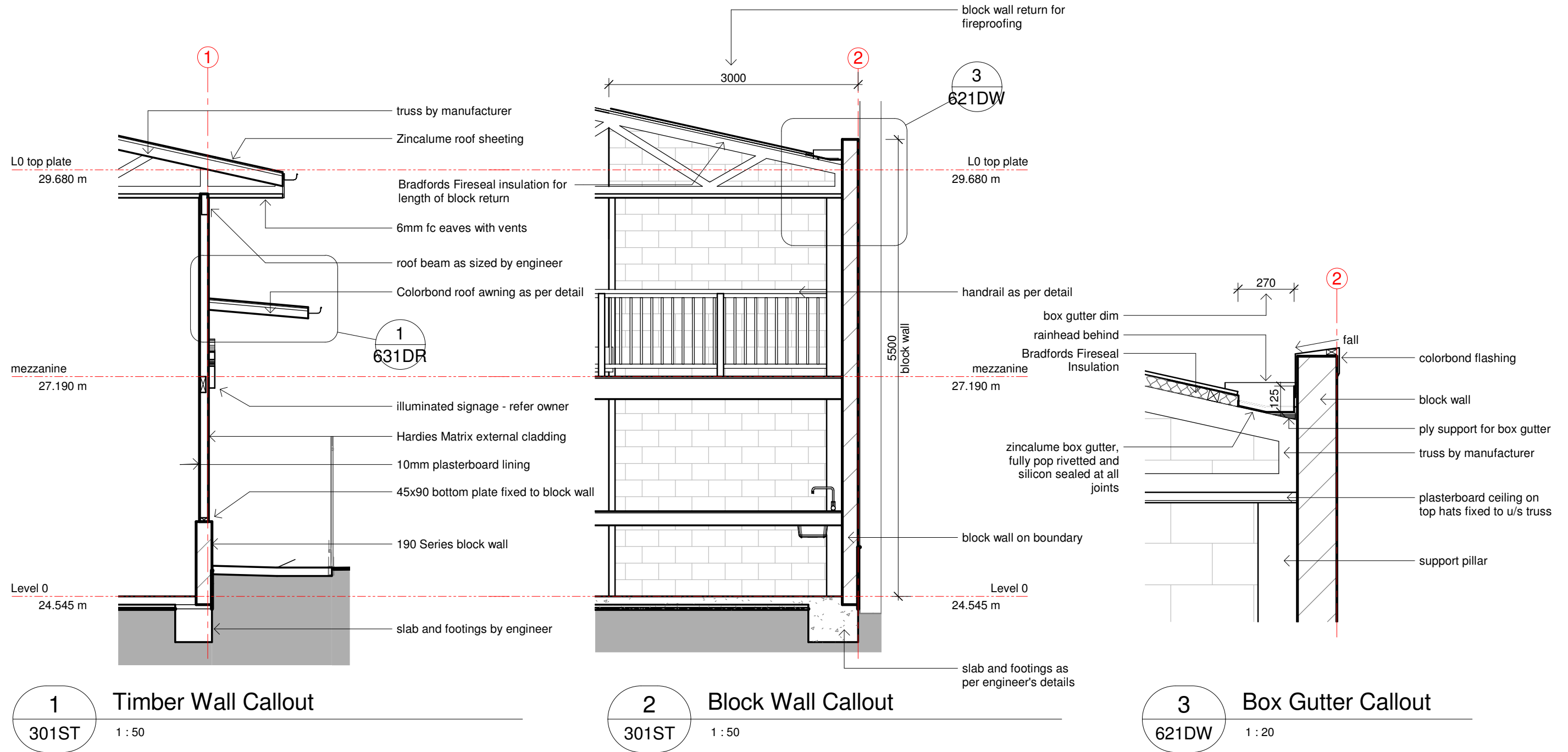
at Main Rd
 Busy Area

for Developer

**Details -
 Waterproofing Notes**

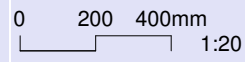
Working Drawings

Scale at A3 1 : 5	Job No 0000111
Designed AB	Dwg No 603DG
Drawn AB	Issue WD1
Checked PBL	



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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			

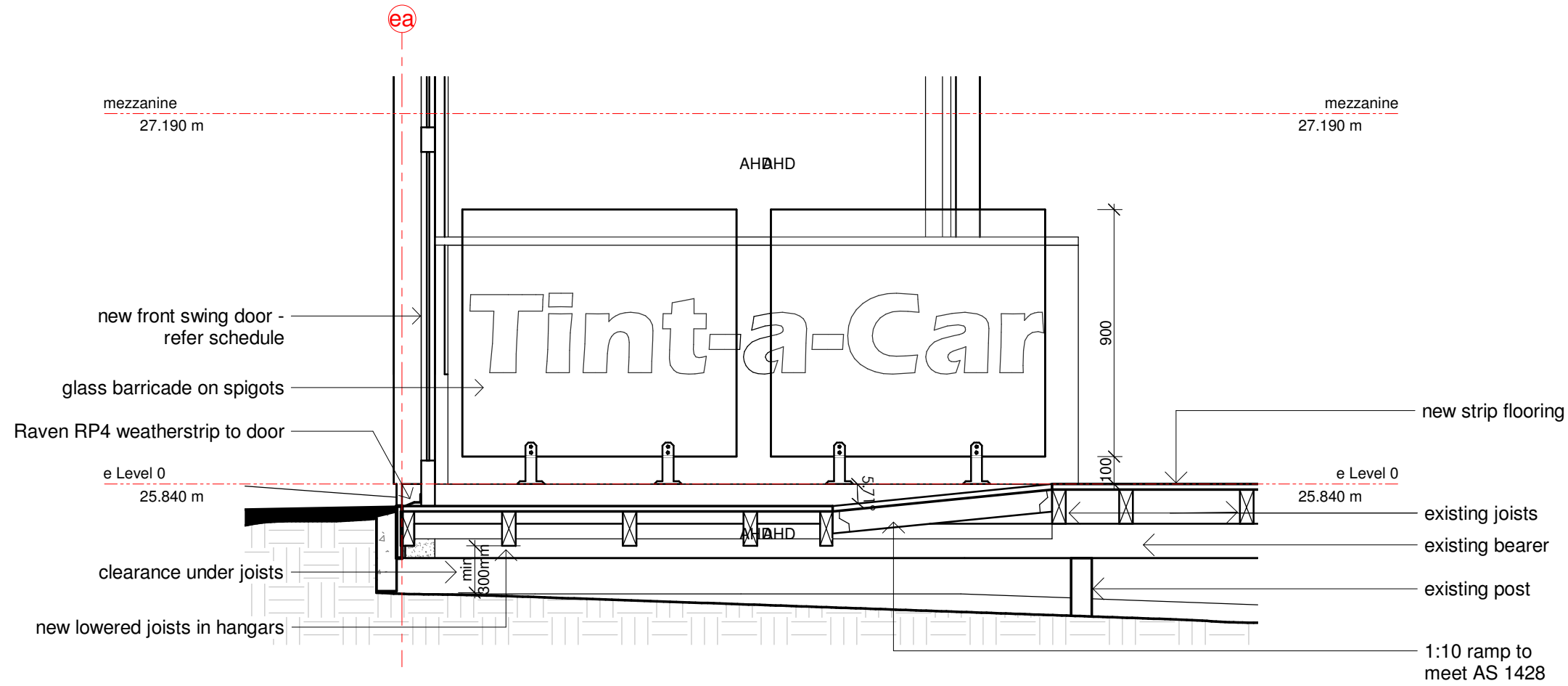


Scale at A3
 As indicated
 Designed AB
 Drawn AB
 Checked PBL

New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

FOR CONSTRUCTION
Details - Wall Types
 Working Drawings

Job No
0000111
 Dwg No
621DW
 Issue
WD1



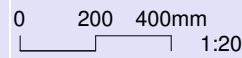
1 Entry and ramp call out
301ST 1 : 20

FOR CONSTRUCTION



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Issue Date	Issue Description	Rev	Date	Revision Description
WD1 22.05.17	Cons Dwgs			



Scale at A3
1 : 20
 Designed AB
 Drawn AB
 Checked PBL

New Fitting Shop

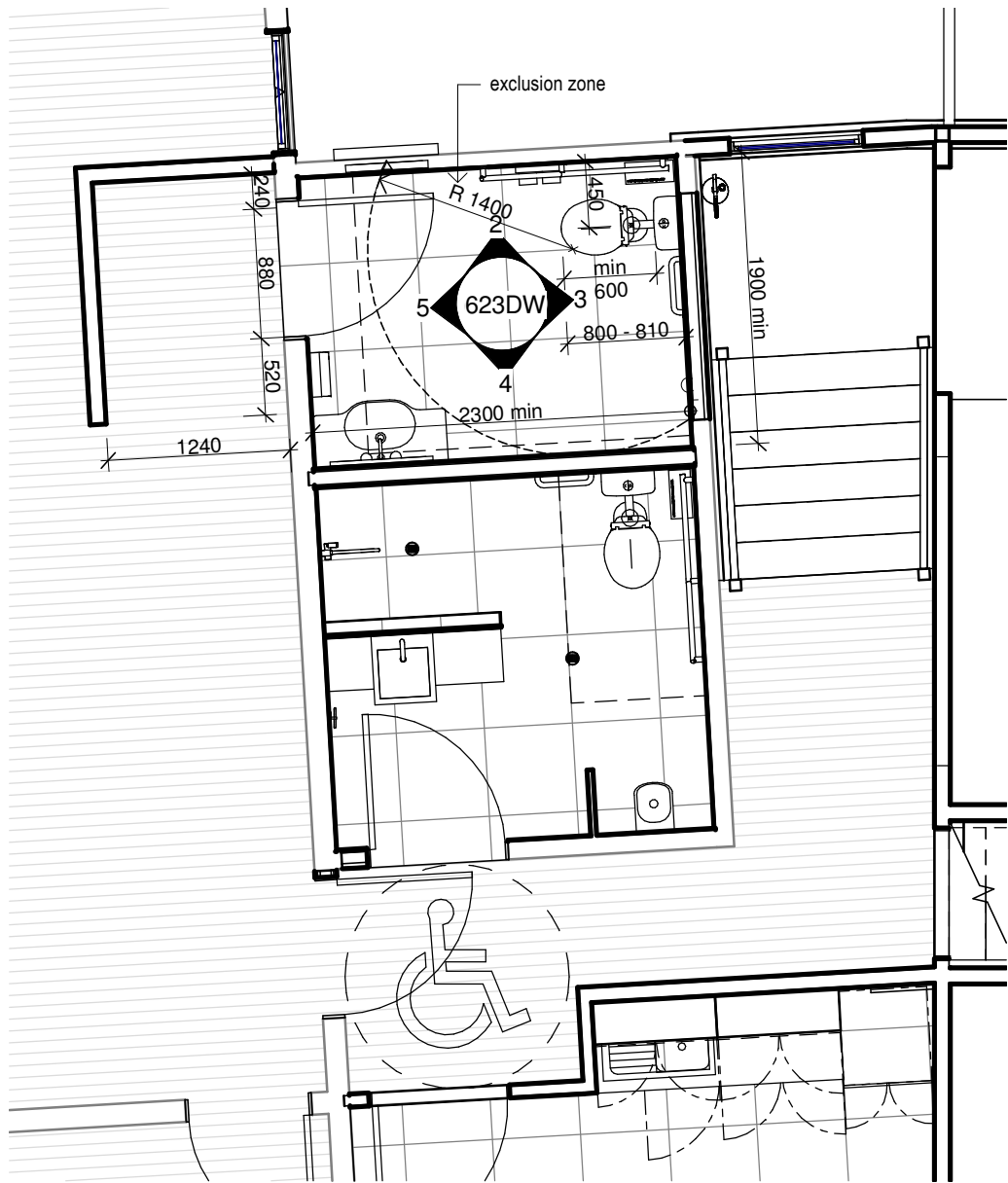
at Main Rd
 Busy Area
 for Developer

Details - Threshold ramp

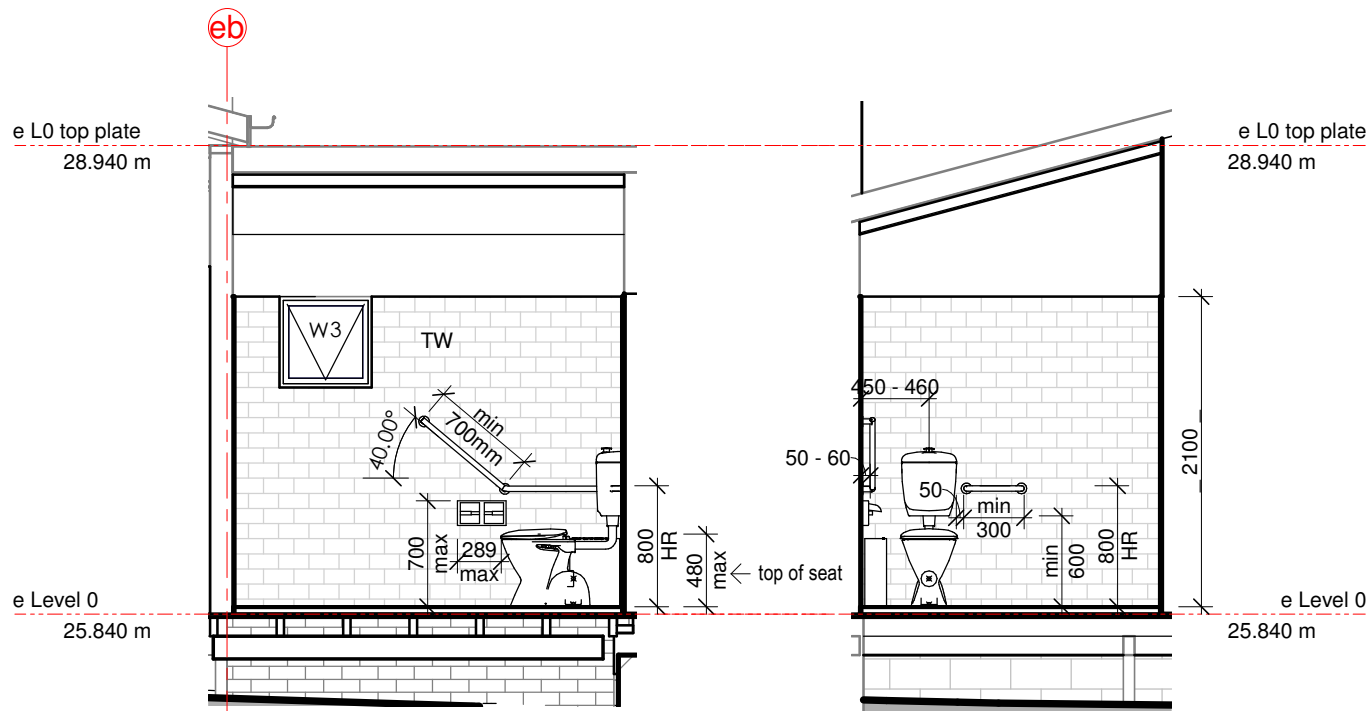
Working Drawings

Job No
0000111
 Dwg No
622DW
 Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
AHD	AUTOMATIC HAND DRYER
MAS	MIRROR - AS SELECTED
TW	TILES (wall) AS SELECTED

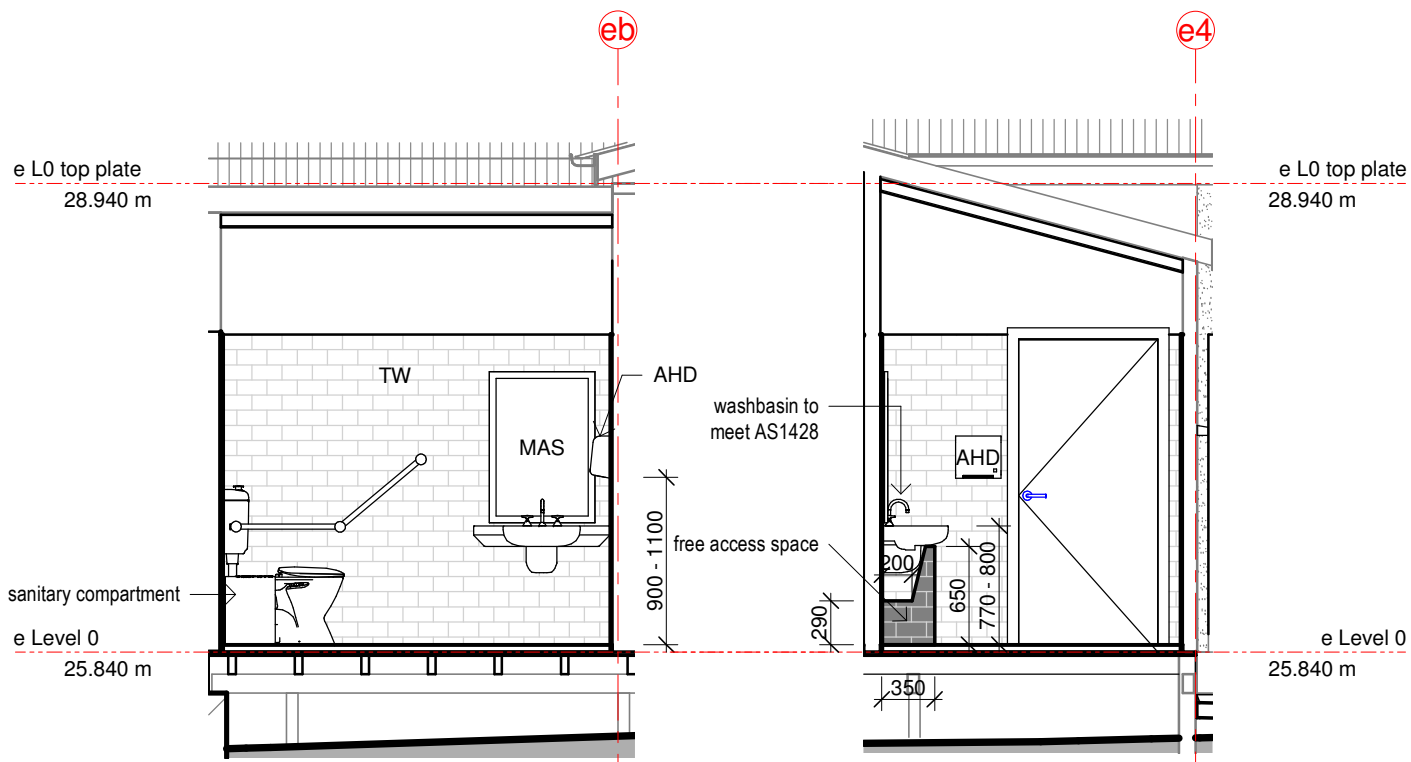


1
201EL
PWD Bathroom
1 : 50



2
623DW
PWD 1
1 : 50

3
623DW
PWD 2
1 : 50



4
623DW
PWD 3
1 : 50

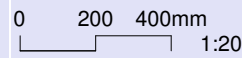
5
623DW
PWD 4
1 : 50

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Issue Date	Issue Description	Rev	Date	Revision Description
WD1 22.05.17	Cons Dwgs			



Scale at A3
1 : 50

Designed
AB
Drawn
AB
Checked
PBL

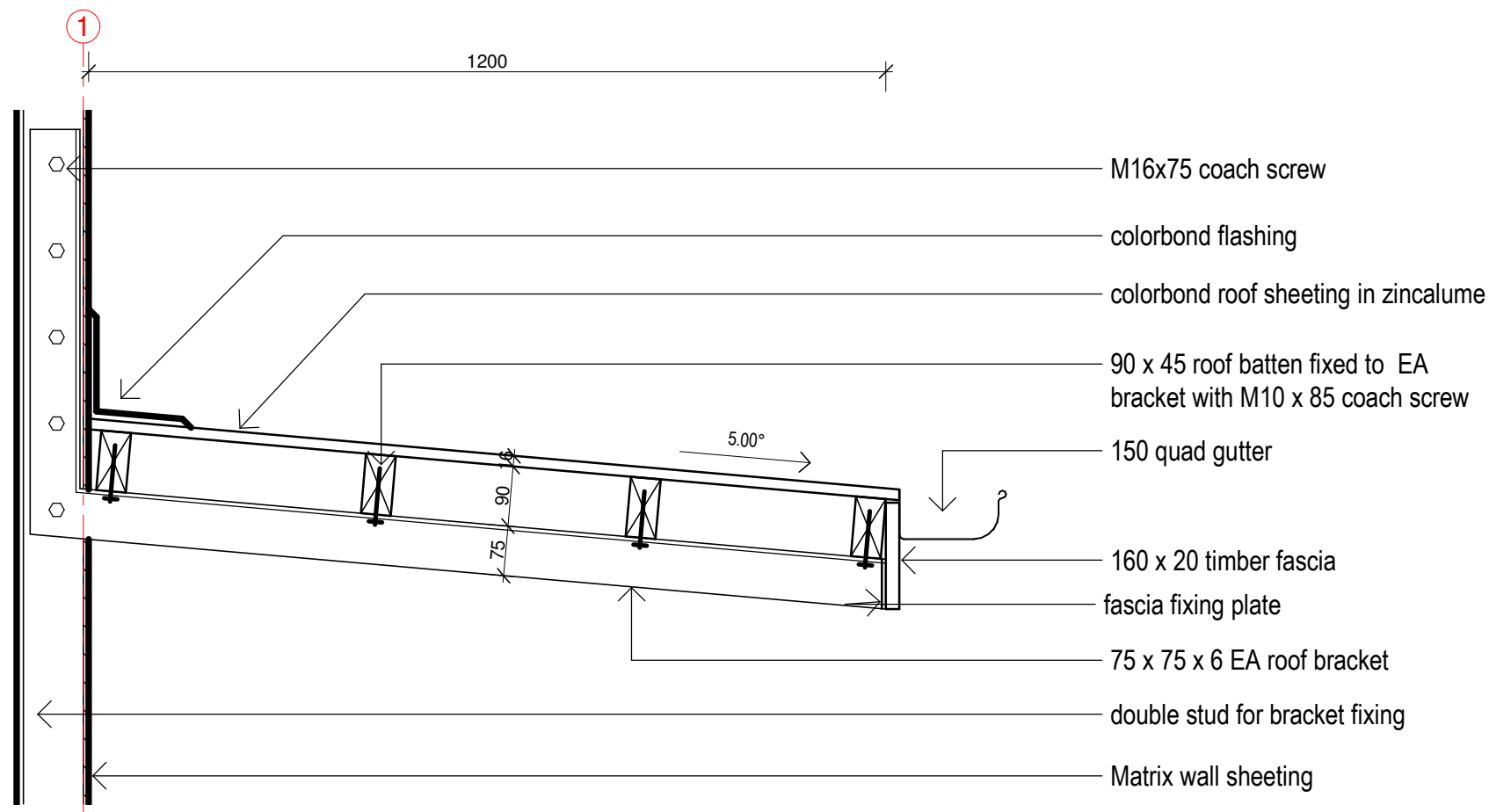
New Fitting Shop

at Main Rd
Busy Area
for Developer

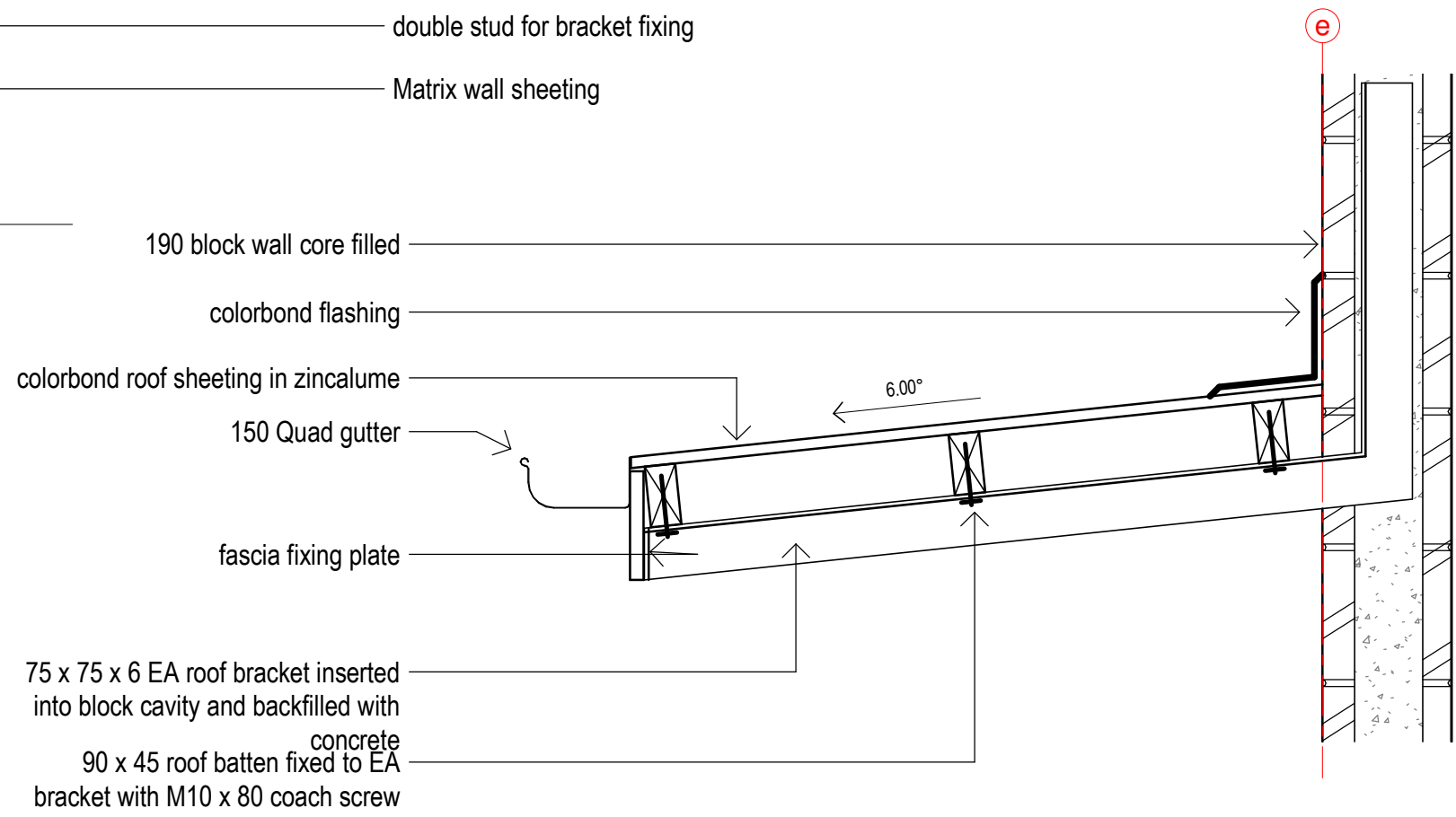
**Details - PWD
bathroom**

Working Drawings

Job No
0000111
Dwg No
623DW
Issue
WD1



1 Awning Roof Callout - Timber Wall
621DW 1 : 10



2 Awning roof callout - block wall
321ST 1 : 10

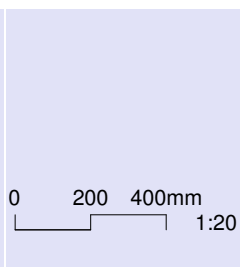
FOR CONSTRUCTION

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			



Scale at A3
1 : 10

New Fitting Shop
at Main Rd
Busy Area
for Developer

Designed AB
Drawn AB
Checked PBL

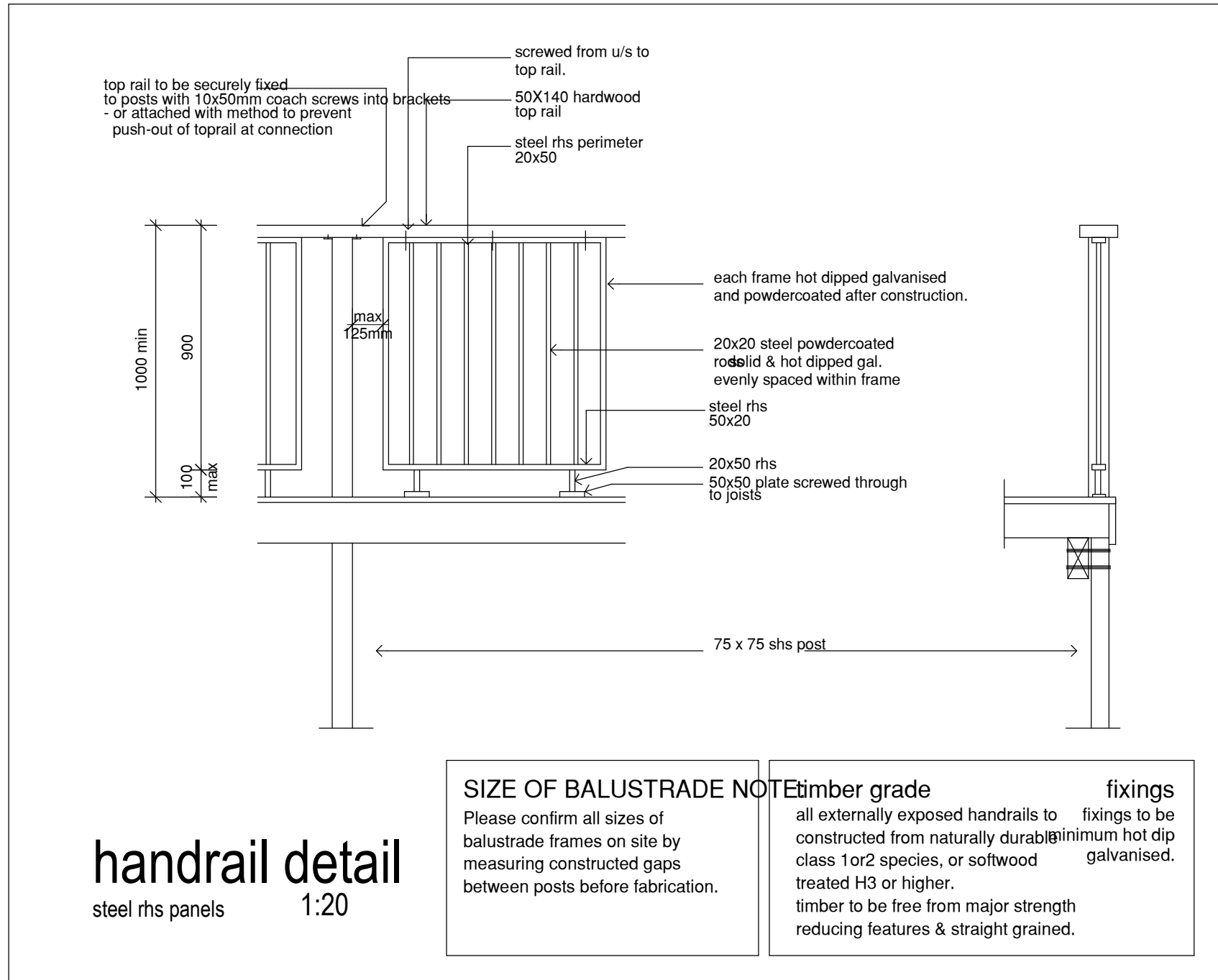
Details - Awning Roof

Working Drawings

Job No
0000111

Dwg No
631DR

Issue
WD1



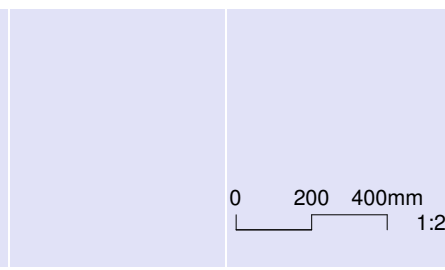
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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			



Scale at A3
1 : 20

Designed AB
 Drawn AB
 Checked PBL

New Fitting Shop

at Main Rd
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 for Developer

FOR CONSTRUCTION

Details - Handrails

Working Drawings

Job No
0000111

Dwg No
671DJ

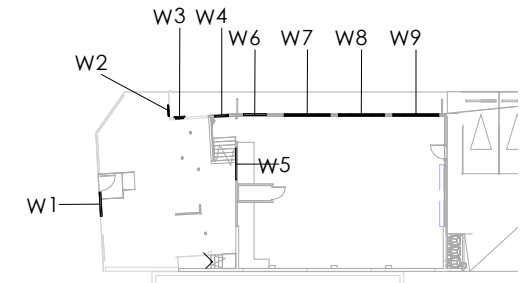
Issue
WD1

window schedule new

Mark	Qty	Level	Head	Size		Description				Comments
				Height	Width	Frame Material	Window Style	Type Comments	Glazing	
1	1	e Level 0	2150	1750	1600	Aluminium	Fixed	single light fixed to match existing	4mm clear	
2	1	e Level 0	2100	2100	820	Aluminium	Awning	2 X Awning Over Fixed	4mm clear	
3	1	e Level 0	2100	600	610	Aluminium	Awning	Single Light Aluminium Awning	4mm clear	
4	1	e Level 0	2100	1800	910	Aluminium	Double Hung	Single Light Aluminium Framed Double Hung	6.38 Solect Laminat	
5	1	e Level 0	1000	750	2100	Aluminium	Fixed		4mm clear	
6	1	Level 0	2300	1200	1500	Aluminium	Fixed	2 Light Aluminium Framed Fixed	6.38 Solect Laminat	
7	1	Level 0	2300	1200	3000	Aluminium	Slider with fixed	2X Centre Slider over 2X Fixed	6.38 Solect Laminat	
8	1	Level 0	2300	1200	3000	Aluminium	Slider with fixed	2X Centre Slider over 2X Fixed	6.38 Solect Laminat	
9	1	Level 0	2300	1200	3000	Aluminium	Slider with fixed	2X Centre Slider over 2X Fixed	6.38 Solect Laminat	
10	1	Level 0	4495	600	1500	Aluminium	Louvres		6.38 Solect Laminat	
11	1	Level 0	4495	600	3000	Aluminium	Fixed	4 Light Aluminium Framed Fixed	6.38 Solect Laminat	
12	1	Level 0	4495	600	3000	Aluminium	Fixed	4 Light Aluminium Framed Fixed	6.38 Solect Laminat	
13	1	Level 0	4495	600	3000	Aluminium	Fixed	4 Light Aluminium Framed Fixed	6.38 Solect Laminat	
14	1	Level 0	4495	600	2400	Aluminium	Fixed	4 Light Aluminium Framed Fixed	6.38 Solect Laminat	
15	1	Level 0	4495	600	2400	Aluminium	Fixed	4 Light Aluminium Framed Fixed	6.38 Solect Laminat	

General Notes - Joinery

- 1 read schedules in conjunction with floor plans and elevations. all joinery viewed from outside, uno, but note that floor plans take precedence over legend views on this sheet, in regards to leaf swings or sliding direction.
- 2 this drawing to be read in conjunction with energy assessment.
- 3 clear glass uno.
- 4 where glazing is specified, also means "or similar".
- 5 refer owner for frame colours on aluminium framed items.
- 6 assume flyscreens are required.
- 7 all windows with sills below 900 above floor, and over 1000 above outside level, to have fixed lower panels opening 125 max.
- 8 all frames to be installed and flashed as per manufacturer's specification. for correct fixing of frames and number of fixings, if no manufacturer instructions, refer to Fixing Guide from awa.org.au.



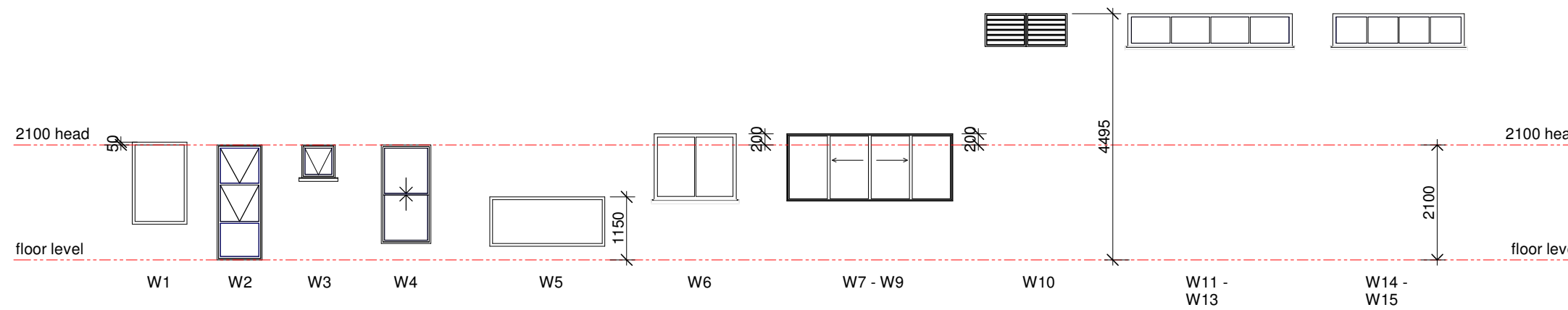
Keyplan L0 Windows

1 : 500



Keyplan L1 Windows

1 : 500



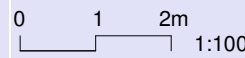
legend window

1 : 100

FOR CONSTRUCTION

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			



Scale at A3
 As indicated
 Designed AB
 Drawn AB
 Checked PBL

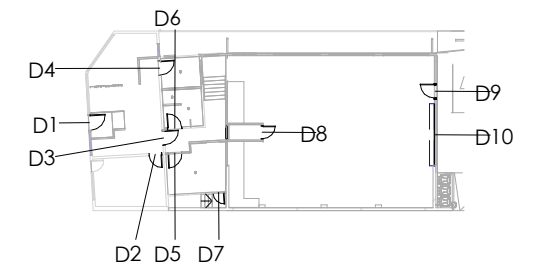
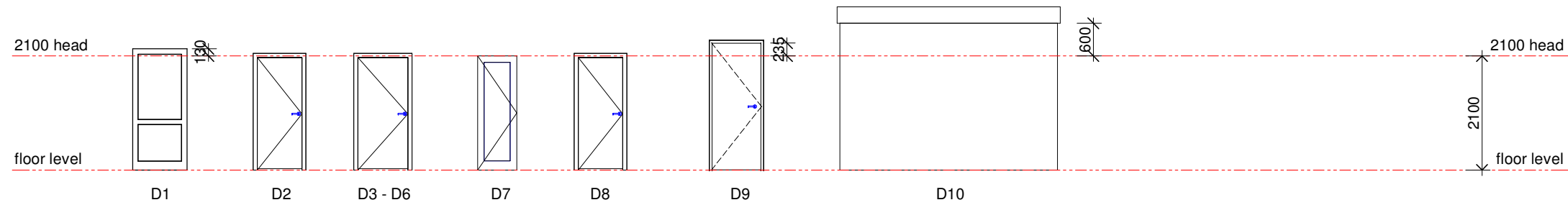
New Fitting Shop

at Main Rd
 Busy Area
 for Developer

Window Schedule
 Working Drawings
 Job No 0000111
 Dwg No 701SC
 Issue WD1

door schedule new											
Mark	Qty	Level	Nom Head	Size		Description					Comments
				Height	Width	Frame Material	Door Style	Type Comments	Glazing		
1	1	e Level 0	2300	2230	1000	Aluminium	Entry Swing door	Aluminium 2x Light Swing Door	As per manufacturer		Install lock
2	1	e Level 0	2100	2070	820	Timber	Solid Core Swing Door	2040x820x40 panel			Install lock
3	1	e Level 0	2100	2070	920	Timber	Solid Core Swing Door	2040x920x40 panel			Install lock
4	1	e Level 0	2100	2070	920	Timber	Solid Core Swing Door	2040x920x40 panel			Auto Closer Mechanism
5	1	e Level 0	2100	2070	920	Timber	Hollow Core Swing Door	2040x920x40 panel			
6	1	e Level 0	2100	2070	920	Timber	Solid Core Swing Door	2040x920x40 panel			Auto Closer Mechanism
7	1	e Level 0	2100	2100	720	Aluminium	Entry Swing door	Aluminium Single Light Swing Door	As per manufacturer		Install lock
8	1	Level 0	2100	2070	820	Timber	Hollow Core Swing Door	2040x820x40 panel			
9	1	Level 0	2400	2340	920	Steel	Solid Core Swing Door	2340x920x40 panel			Install lock
10	1	Level 0	2700	2700	4000	Steel	Garage Rolladoor	Roller Door			Remote Control Closer Mechanism

- General Notes - Joinery**
- 1 read schedules in conjunction with floor plans and elevations. all joinery viewed from outside, uno, but note that floor plans take precedence over legend views on this sheet, in regards to leaf swings or sliding direction.
 - 2 this drawing to be read in conjunction with energy assessment.
 - 3 clear glass uno.
 - 4 where glazing is specified, also means "or similar".
 - 5 refer owner for frame colours on aluminium framed items.
 - 6 assume flyscreens are required.
 - 7 all windows with sills below 900 above floor, and over 1000 above outside level, to have fixed lower panels opening 125 max.
 - 8 all frames to be installed and flashed as per manufacturer's specification. for correct fixing of frames and number of fixings, if no manufacturer instructions, refer to Fixing Guide from awa.org.au.



Keyplan L0 Doors
1 : 500

legend door
1 : 100

See Floor Plan for door swing directions

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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			

Scale at A3
 As indicated
 Designed AB
 Drawn AB
 Checked PBL

New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

FOR CONSTRUCTION
Door Schedule
 Working Drawings

Job No
0000111
 Dwg No
711SC
 Issue
WD1

GENERAL NOTES

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish on new work. existing walls may be nominally dimensioned.
- Check and verify dimensions and confirm any existing dimensions.
- Work shall comply with the Building Code of Australia, Building Act Qld, and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturer's specification means a current approved specification for use under the conditions applicable these drawings are available digitally, if required.
- Disclaimer:
Any data supplied by others and shown on these drawings are not the responsibility of this designer.
All users of these drawings are advised to check other supplied data.
Owner remains responsible for ongoing maintenance of building. Structural elements in particular are to remain protected by the methods shown and listed in these drawings.

SITE WORKS

- Site to be prepared in accordance with engineers report, if applicable. site to be excavated and/or filled to levels shown.
Construction area to be cleared of vegetation, all topsoil and upper strata containing organic matter.
- Prepare foundations so footings shall be placed on level undisturbed material.
Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur.
- Dish drains and ag pipes to be provided as required or indicated to facilitate drainage of water away from building.
- Temporary downpipes to be provided at dp locations

DESIGN LOADS

- Refer to relevant Australian Standards for design loads and REFER DRAWINGS FOR BUILDING STANDARD DEDUCTIONS
- Refer to relevant Australian Standards for design loads and REFER DRAWINGS (refer substitution note also)
- Any finishes (including ceiling) to be applied in accordance with manufacturer's data manuals and software. If other materials are specified, they must be cross-checked with the manufacturer's data and software.
- Driveway slope not to exceed 1:4. Driveway and footpath to be constructed in accordance with relevant standards and are nominal only. Engineer's sizing takes precedence.
All remaining sizes of items deduced from Australian Standards.

SUBSTITUTION NOTE

Substitution of a manufacturer, members, and/or any variation to any part of the design WILL VOID any responsibilities of the designer for the structural integrity and performance of the building.

DESIGN REPEAT NOTE

The design represented within this set of drawings is for an individual building. It cannot be used again on another site, without prior checking with designer. This applies also to all consultant documents that support these drawings.

SET of DOCUMENTS NOTE

The builder is advised to provide full set of these drawings to all supporting trades and suppliers, so that each has full knowledge of the project. If separated, builder to ensure the recipient has all necessary drawings.

MATERIALS AND CONSTRUCTION - AS APPLICABLE - REFER DRAWINGS FOR MATERIALS USED

A MATERIALS GENERALLY

- All materials shall be new UNO.
- Builder to obtain manufacturer's installation guide for all propriety products.

B REINFORCED CONCRETE

- Concrete to be in accordance with current editions of following codes & codes referenced therein :
AS3600 - SAA Concrete Structures Code
AS1379 - Readymixed Concrete
Slab & footings to be constructed in accordance with AS 2870.1 1988
- Strength of concrete at 28 days:
slabs 25 MPa
footings 20 MPa
- Max nominal aggregate size 20mm.
- Sample and test in accordance with AS 3600.
- Slump: 80mm (Grade N20).
- Consolidate by vibration.
- Termite protection to slabs to AS 3660.
Owner is responsible for maintaining Termite protection.
- Fix reinforcement as shown or noted on drawing.
- Concrete cover to reinforcement:
footings 65
slabs 20 interior, 40 exterior
beams 50
stairs 30 top 20 bottom
- Correct cover to be obtained using plastic chairs, conc blocks or plastic tipped steel chairs.
- Thoroughly scabble concrete on which new concrete is to be poured.
- Slabs on ground:
Remove all topsoil and upper strata containing organic matter. Replace with approved consolidated fill compacted to 95% M.M.D.D. in accordance with AS1289E2.1.

C BLOCKWORK

- R.CY Blockwork to conform to AS3700.
- All Blockwork to be filled with 20 MPa grout.
- DPC 150 above ground fabric
- Cleanout all cores after each day's laying.
- Provide vertical control joints at 6m max centres, preferably beside

D BRICKWORK

- Brickwork to conform to current Australian Standards.
- Approved galvanised ties at 600x600 crs. Also at 300 crs to raised floor levels. Use medium duty type.
- Standard reinforcement every 4th course.
- DPC 150 above ground.
- Walls to have a continuous cavity kept clear of mortar droppings.
- All openings to be fully flashed with standard damp proof course material to prevent water penetration to internal areas.
- Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external wall. (Approx 1 brick sized

E STEELWORK

- All steelwork to be fully coated with current editions of :
AS 1554 - SAA Code for Welding in Building
AS 1554 - SAA Code for Welding in Building
AS 1554 - SAA Code for Welding in Building
- Paint to be applied to all steelwork in accordance with current editions of :
AS 1554 - SAA Code for Welding in Building
AS 1554 - SAA Code for Welding in Building
- Steelwork to be coated with red oxide zinc chromate paint before erection. All steel in exposed locations to be galvanised or galvanised product.
- All bolts steel/steel to be M16 8.8/s UNO.

F TIMBER

- HARDWOOD - MIN STRESS GRADE F14 UNO
S3 Strength group, J2 Joint group.
SOFTWOOD - MIN STRESS GRADE mgp10/F5 UNO
SD6 Strength group, JD4 Joint group.
- All structural timberwork to be in accordance with current edition of:
AS1684 - SAA Timber Framing Code.
- Bolts: All nuts & bolts to be provided with washers.
All bolts to be tightened finally before handover.
Bolt holes to be 2mm oversize in unseasoned timber.
- Unless detailed otherwise timber members to be fixed with nominal nailing as specified in AS1684.
- Sizes and details not shown shall comply with AS1684.
- Timber roof trusses to be to manufacturer's design with installation strictly in accordance with manufacturer's specification.
- HANDRAILS
All stairs and handrails to be in accordance with part 3.9.1 and 3.9.2 of the BCA.
All new handrails to be 1000 high min, with balustrading at 125 max clear spacings, stair handrail at 865 with top rail & midrail minimum. Where floor is 4000 or more above lower level, handrails to have no horizontal members between 150 & 760 above floor, that facilitate climbing.
Where a balcony is over a pool: 1000 high handrails, if floor is over 2100 above pool, otherwise 1200 high.
- All openings to be fully flashed with standard galvanised sheet steel flashing.
- All bolts,nuts,washers to be hot dipped galvanised.
- All bolts to have mild steel galvanised washers:
Bolts up to 12mm dia - 50x50x3 washers.
Bolts up to 20mm dia - 65x65x5 washers.

G TIMBER TERMITE PROTECTION

- Timber decking fully exposed to weather, only timber of durability Class 1 or 2 or treated to H3 level to be used.
- All timbers subject to full weather exposure as per AS1684 - B1 Durability, to be primed and painted, or clear sealed to similar protection.
- Owner remains responsible for ongoing inspection of structural timber elements, and that barriers are not compromised.
- Where concrete slab forms barrier, slab to be constructed as per underside decks). MUST be primed and painted.
- Truss installation to be in accordance with AS4440.

H WET AREA SURFACES

- Waterproofing of internal wet areas shall comply with part 3.6.1 of the BCA.
- Floor surface to bath & laundry shall be impervious, with junctions in showers between walls & floor, and wall & bath flashed to prevent moisture penetration into walls.
- Ceramic tiles or other approved impervious material to walls around showers to 1800mm min above floor including 100mm minimum from edge of shower. Where shower has no hob, impervious material to floor to be placed in a radius of 1500 away from shower head.

I FLOOR COVERINGS/SMOKE ALARMS

- Floor finishes -refer owner or builder spec, unless shown on drawings.
- Provide smoke alarms between all bed regions & rest of house in accordance with part 3.7.2 of the BCA and AS 3786.

J CLADDING AND MOULDINGS

- EXTERNAL TIMBER
 - Treated pine and Western Red Cedar cladding to be fixed & finished in accordance with manufacturers' specification.
 - Chamferboards & Weatherboards (including treated boards) to be primed nearly all around before fixing.
One third of back face to remain bare for moisture escape.
Chamferboard fixing:
Up to 75mm - single nailed. Over 75mm - double nailed.
Weatherboard fixing : - all single nailed.
Onto hardwood frames - 60 x 2,8 nails.
Onto softwood frames - 60 x 3.15 deformed shank nails.
 - Vapour permeable Sarking to be provided between cladding and frame, except for pre-primed or treated boards, at owner discretion.
- INTERNAL TIMBER
 - Nailing:
Single nailed up to 100mm wide, double nailed over 100mm wide.
12 or 15mm thick - 30 x 2.0 nails.
19 or 21mm thick - 50 x 2.5 nails.
 - Lining boards nailing centres:
Walls Ceilings
12 or 15mm thick - 800 560
19 or 21mm thick - 1800 1200

OTHER CLADDINGS

- All other external & internal claddings to be fixed & finished in accordance with manufacturer's specification.

MOULDINGS GUTTERS

- On renovations or extensions, match existing, uno or owner specified.
- On new houses, build-ins and separated extensions the following are to be adopted uno or owner specified:
cornice: standard 90 plasterboard.
architrave: Pine finger jointed 70 x 19.
skirting: Pine finger jointed 140 x 19.
sills: dressed standard hardwood sills.
- others (if required by owner):
picture rail: Colonial 42 x 19.
dado rail: Colonial 66 x 31.

K PROJECT SPECIFIC NOTES

- Refer Drawing zincalume 150 Quad Gutter, uno.
downpipes: 90 upvc, uno.

GENERAL LEGEND & ABBREVIATIONS

refer drawings for specific legends

uno	unless noted otherwise	i/s	inside
nts	not to scale	u/s	underside
omp	outer most projection	o/h	overhang
rl	reduced level	o/s	outside course
ffl	finished floor level	ms	mild steel
dpc	damp proof	ss	stainless steel

IF IN DOUBT ASK

FOR CONSTRUCTION



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WD1	22.05.17	Cons Dwgs	Rev	Date	Revision Description
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Scale at A3	1 : 1
Designed	AB
Drawn	AB
Checked	PBL

New Fitting Shop

at Main Rd
Busy Area
for Developer

General Notes

Working Drawings

Job No
0000111

Dwg No
731NT

Issue
WD1

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation. Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain **asbestos**

1986 - it therefore is likely to contain **asbestos**

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

NON-RESIDENTIAL BUILDINGS

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements.

All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*.

All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

source:
BDAQ Mar 2012

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.



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WD1	22.05.17	Cons Dwgs			
Issue	Date	Issue Description	Rev	Date	Revision Description

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Scale at A3 1 : 1	New Fitting Shop
Designed AB	
Drawn AB	
Checked PBL	
	at Main Rd Busy Area for Developer

Safety in Design Notes	
Working Drawings	

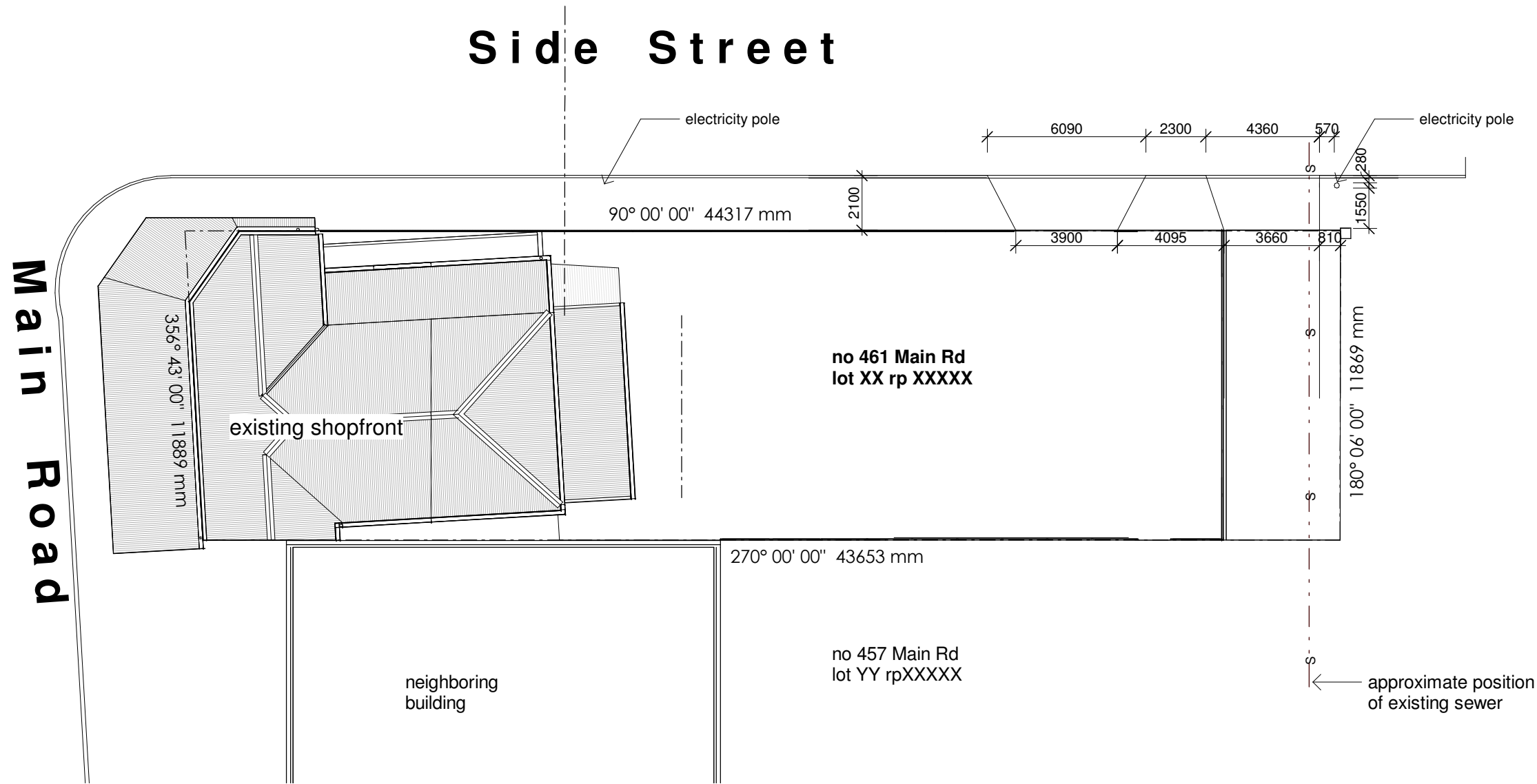
Job No 0000111
Dwg No 781SD
Issue WD1

General Notes - Existing Site

- 1 existing downpipes egress into stormwater lines taken to street kerb
- 2 Services shown hereon have been located where possible by field survey.
- 3 If not able to be located, services have been plotted from the records of relevant authorities where available.
- 4 Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.

Services Legend

- EO--- Electricity Overhead
- EU--- Electricity UnderGround
- FO--- Fibre Optic
- G--- Gas
- S--- Sewer
- SW--- Stormwater
- T--- Telstra
- W--- Water



R.P.D.:	Lot XX RP XXXXX Par Somewhere County Stanley
Local Authority:	Aaaaaa City Council
Area:	521m ²
Zoning/ Overlays:	QPP - LDR See 003GG - Code Data
Flood Level:	NIL
Transport Corridor:	Category: 4 (N/A for commercial use)
Climate Zone:	2

North Orientation Note:
North as indicated on these drawings, is taken from RP. True North maybe somewhat varied.

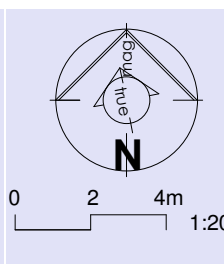
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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			
DA2	12.09.16	Revised DA			
DA1	12.05.16	DA Issue			
DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			



Scale at A3
 As indicated
 Designed AB
 Drawn AB
 Checked PBL

New Fitting Shop
 at Main Rd
 Busy Area
 for Developer

FOR CONSTRUCTION

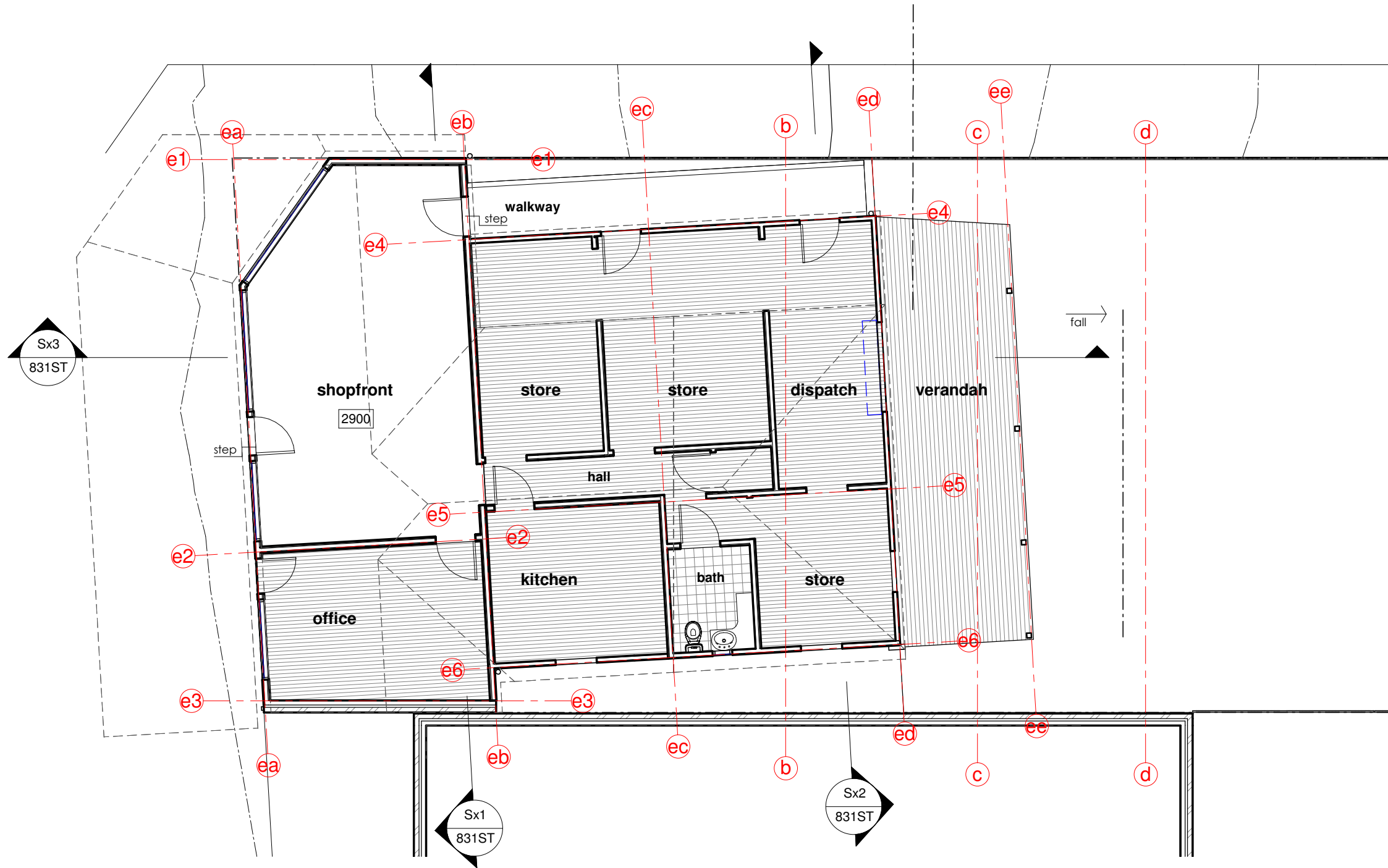
Existing Site 1-200

Working Drawings

Job No
0000111

Dwg No
802SP

Issue
WD1



existing plan symbols

	raking ceiling with end heights
	ceiling height
	height from ground to u/s bearer
	joist direction
	splice joint in bearer

FOR CONSTRUCTION



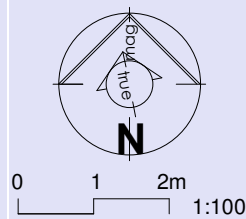
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WD1 22.05.17 Cons Dwgs
 DA2 12.09.16 Revised DA
 DA1 12.05.16 DA Issue
 DD1 05.04.16 Design Review
 SK1 11.03.16 Issue 01

Issue	Date	Issue Description	Rev	Date	Revision Description



Scale at A3
 1 : 100

Designed
 AB
 Drawn
 AB
 Checked
 PBL

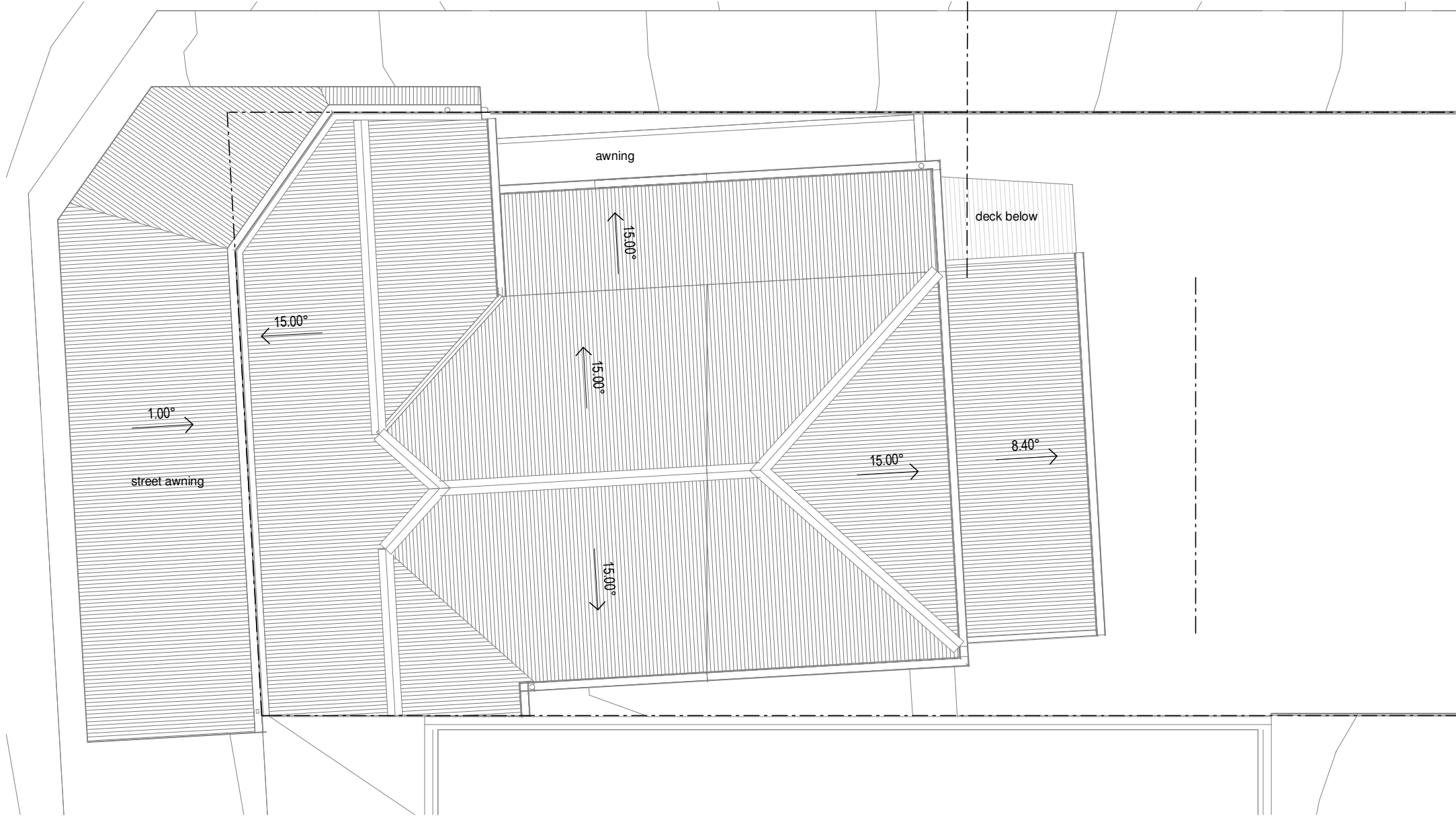
New Fitting Shop

at Main Rd
 Busy Area
 for Developer

Existing Level 0 Floor Plan

Working Drawings

Job No
0000111
 Dwg No
810FP
 Issue
WD1



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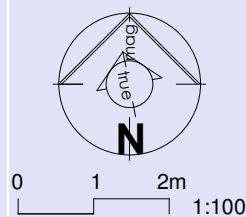
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Issue Date Issue Description

Rev Date Revision Description



Scale at A3
 1 : 100

Designed
 AB
 Drawn
 AB
 Checked
 PBL

New Fitting Shop

at Main Rd
 Busy Area
 for Developer

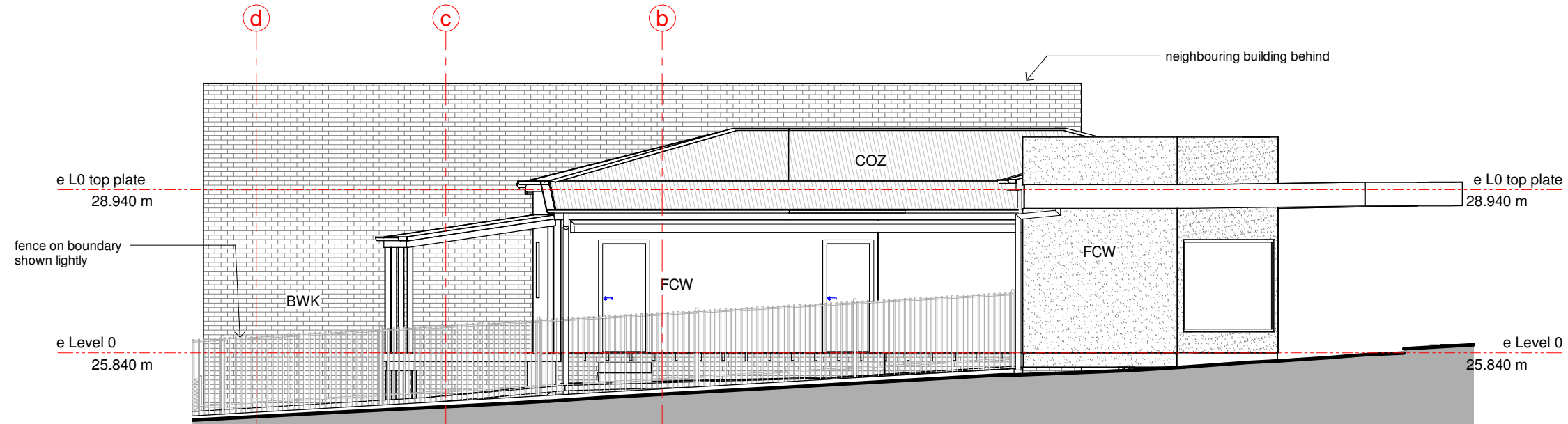
FOR CONSTRUCTION

Existing Roof Plan

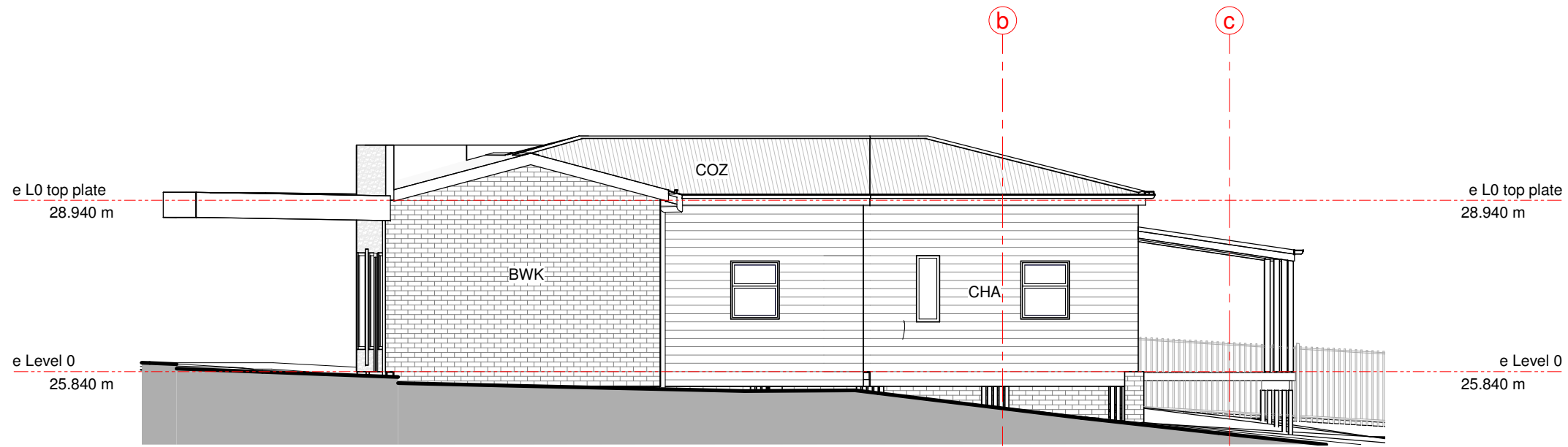
Working Drawings

Job No
0000111
 Dwg No
815RP
 Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BWK	BRICKWORK
CHA	CHAMFERBOARD
COZ	CUSTOMORB - ZINCALUME
FCW	EXISTING FIBROUS CEMENT CLADDING



Ex1 existing north elevation
1 : 100



Ex2 existing south elevation
1 : 100

FOR CONSTRUCTION



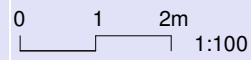
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Scale at A3
1 : 100

Designed
AB
Drawn
AB
Checked
PBL

New Fitting Shop

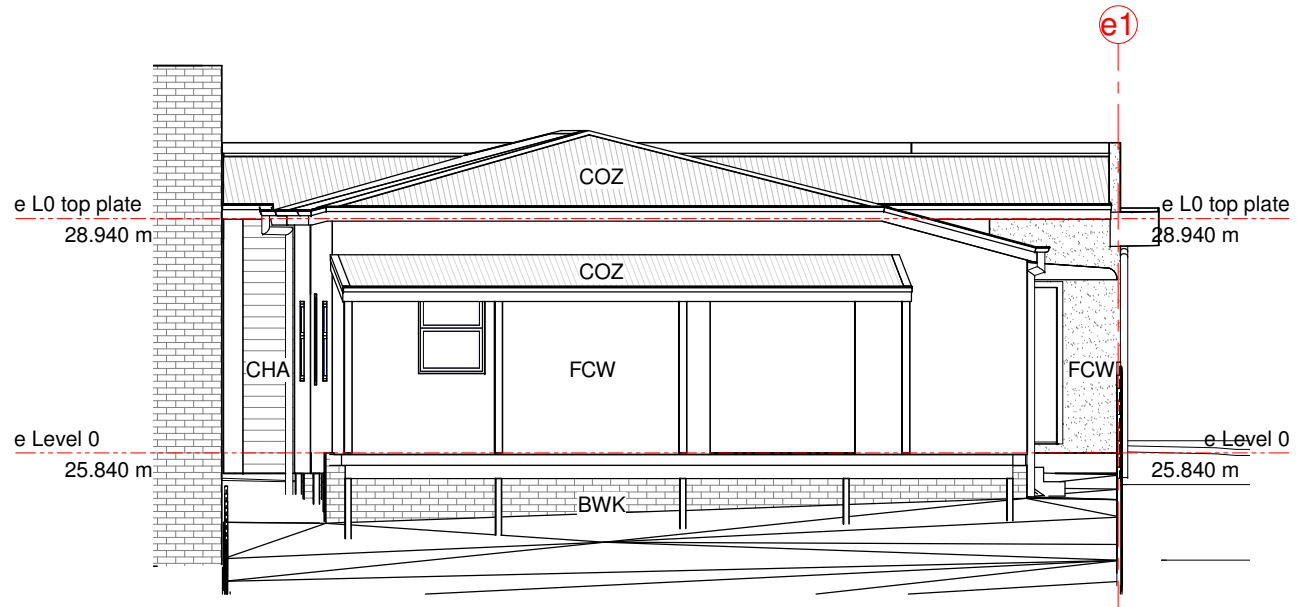
at Main Rd
Busy Area
for Developer

Existing Elevations

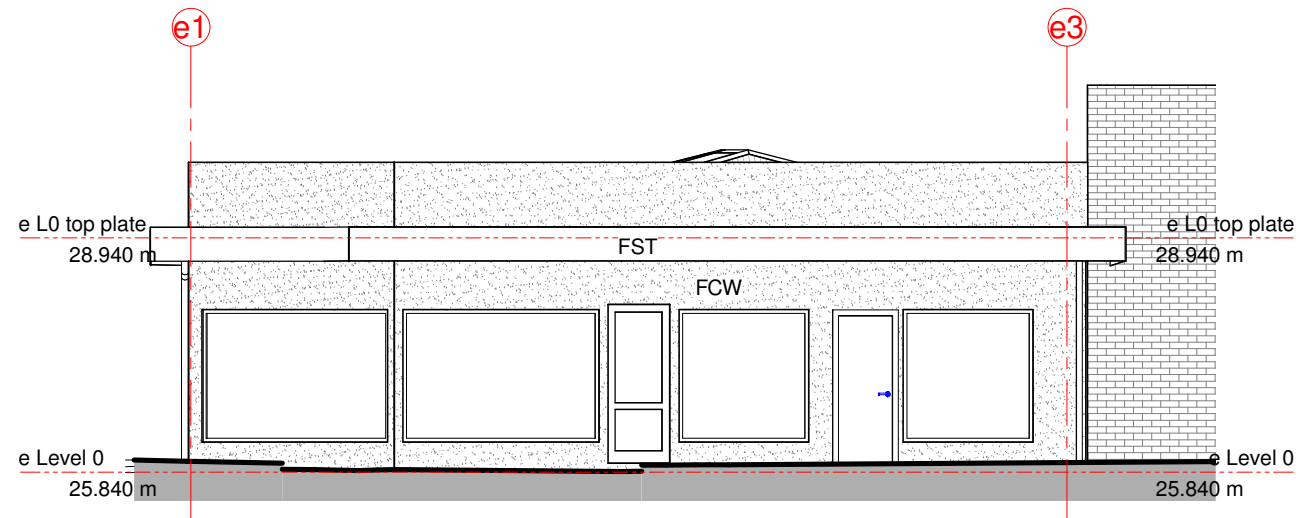
Working Drawings

Job No
0000111
Dwg No
821EL
Issue
WD1

KEYNOTES LEGEND	
ITEM	DESCRIPTION
BWK	BRICKWORK
CHA	CHAMFERBOARD
COZ	CUSTOMORB - ZINCALUME
FCW	EXISTING FIBROUS CEMENT CLADDING
FST	FASCIA TIMBER



Ex3 existing east elevation
1 : 100



Ex4 existing west elevation
1 : 100

FOR CONSTRUCTION



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Scale at A3
1 : 100

Designed
AB
Drawn
AB
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Busy Area
for Developer

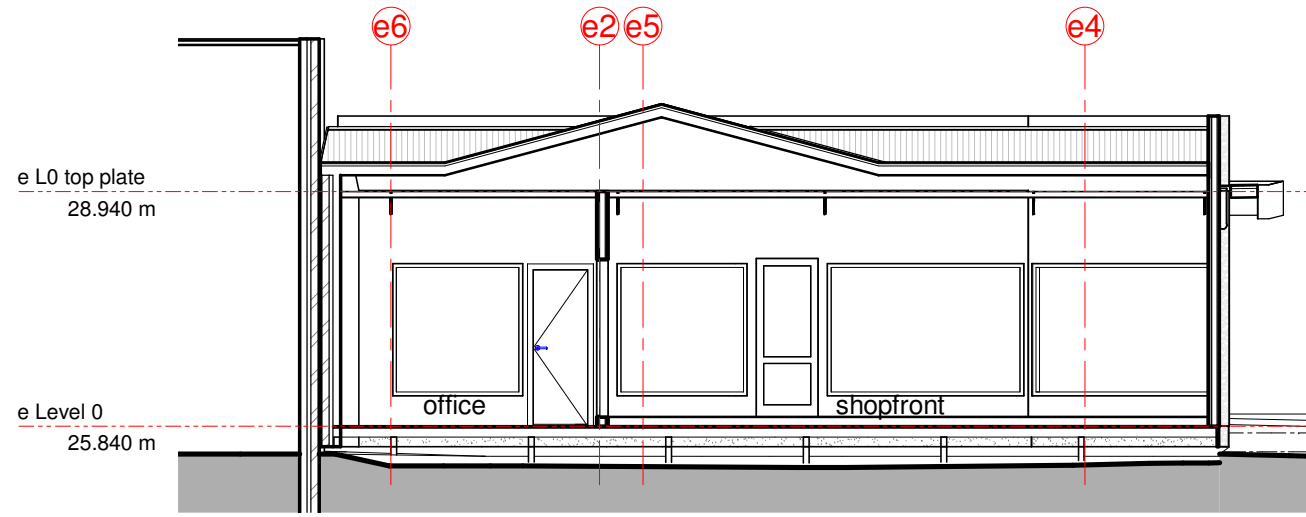
Existing Elevations

Working Drawings

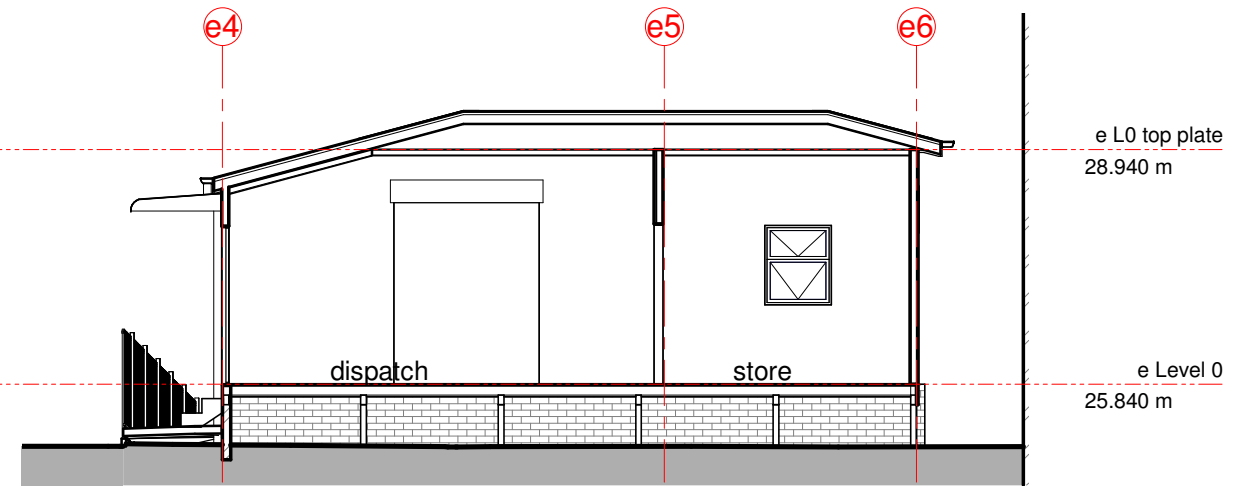
Job No
0000111

Dwg No
822EL

Issue
WD1



Sx1 existing short section 1
810FP 1 : 100



Sx2 existing short section 2
810FP 1 : 100

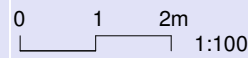


Sx3 existing long section
810FP 1 : 100



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Issue	Date	Issue Description	Rev	Date	Revision Description
WD1	22.05.17	Cons Dwgs			
DA2	12.09.16	Revised DA			
DA1	12.05.16	DA Issue			
DD1	05.04.16	Design Review			
SK1	11.03.16	Issue 01			



Scale at A3
1 : 100

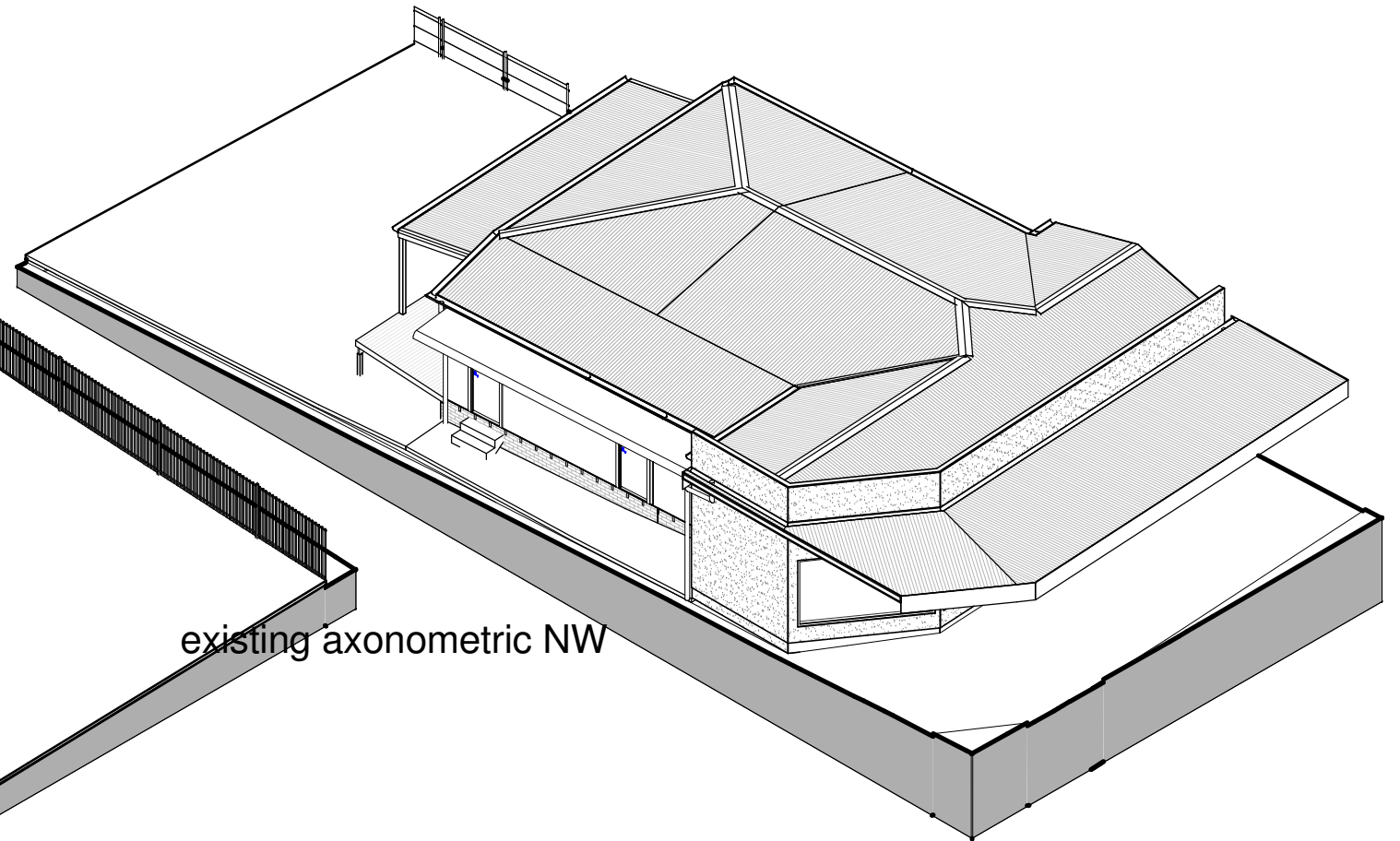
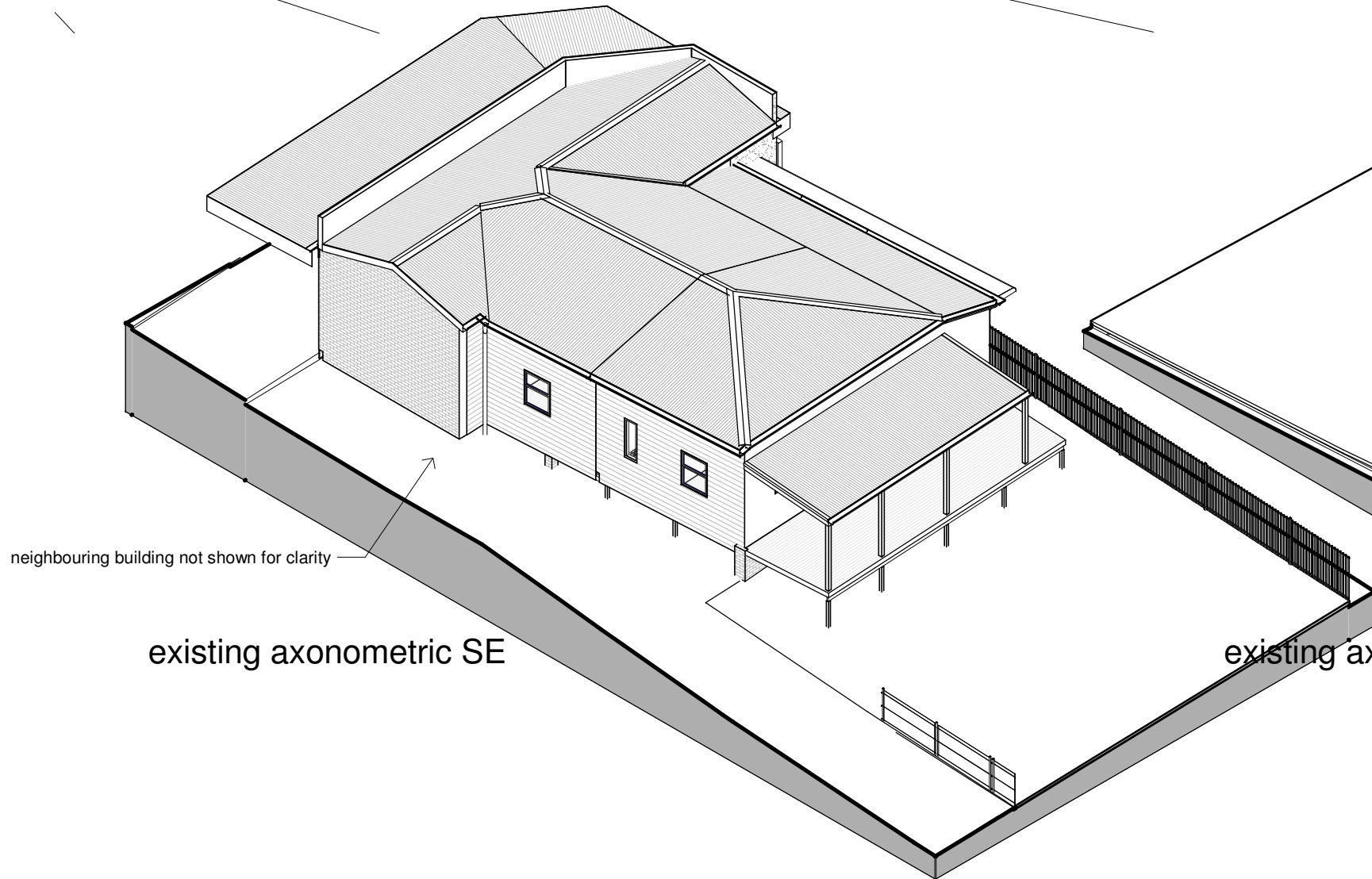
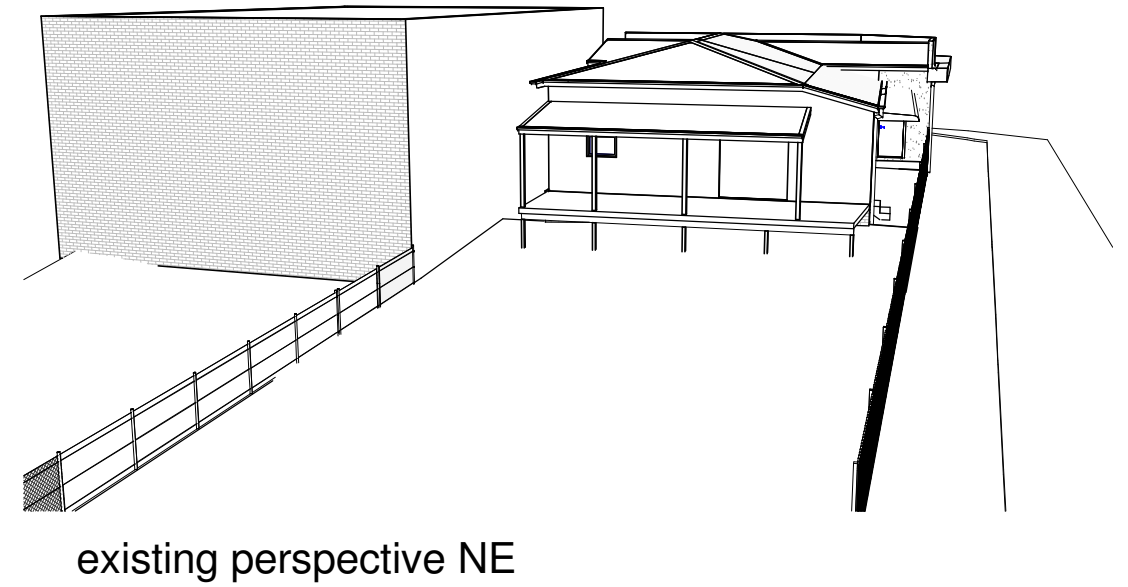
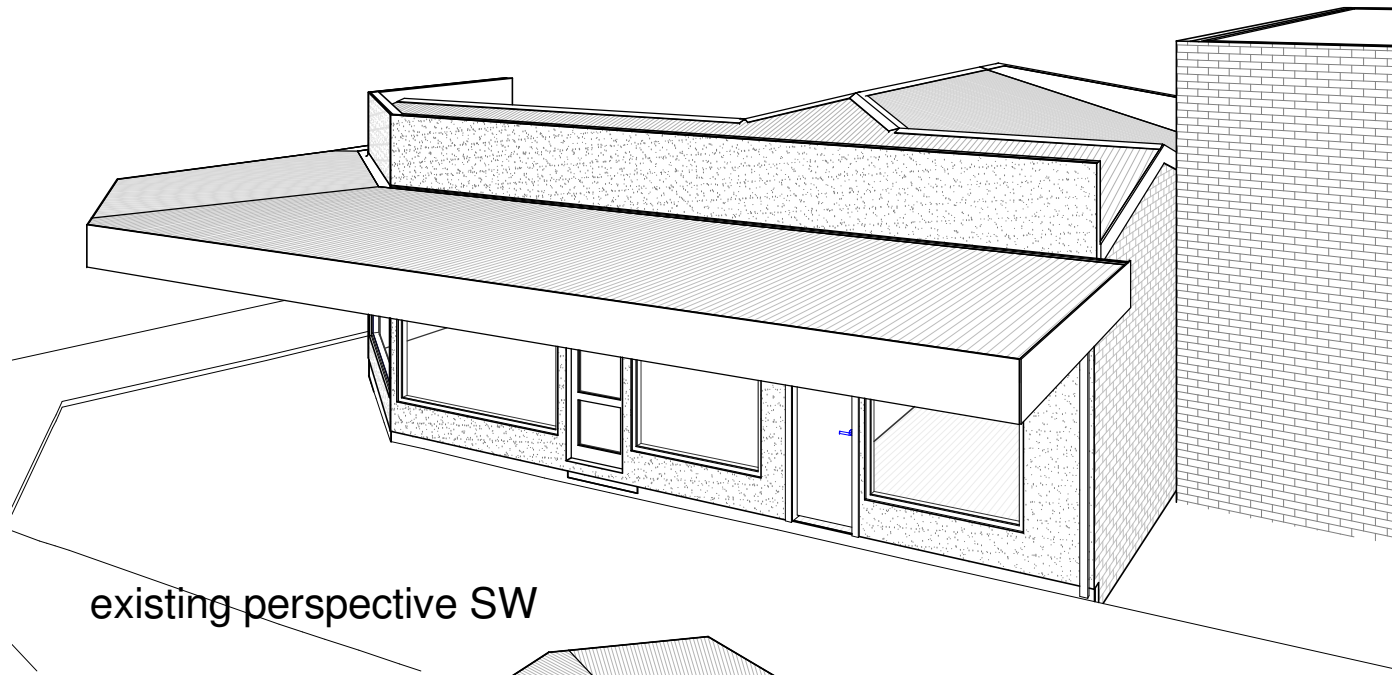
Designed
AB
 Drawn
AB
 Checked
PBL

New Fitting Shop

at Main Rd
 Busy Area
 for Developer

FOR CONSTRUCTION

Existing Sections	Job No 0000111
	Dwg No 831ST
	Issue WD1
Working Drawings	



FOR CONSTRUCTION



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WD1 22.05.17 Cons Dwgs
 DA2 12.09.16 Revised DA
 DA1 12.05.16 DA Issue
 DD1 05.04.16 Design Review
 SK1 11.03.16 Issue 01

Issue Date	Issue Description	Rev	Date	Revision Description

Scale at A3

New Fitting Shop

Designed
 AB
 Drawn
 AB
 Checked
 PBL

at Main Rd
 Busy Area
 for Developer

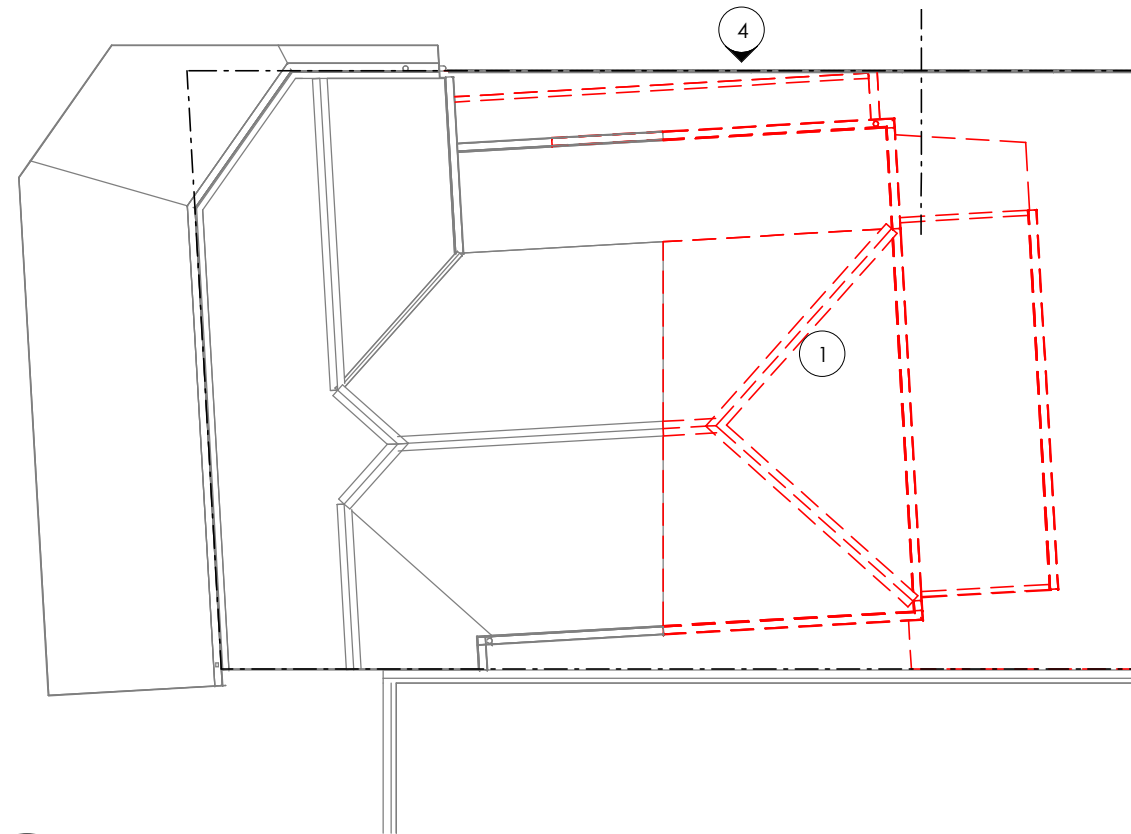
Existing 3D Views

Working Drawings

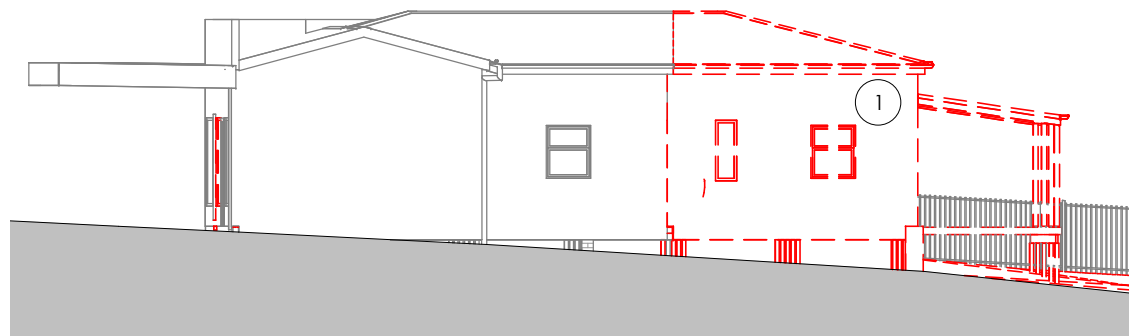
Job No
0000111
 Dwg No
841PD
 Issue
WD1



1 demolition plan
1 : 150



2 demolition roof plan
1 : 150



3 demolition south elevation
1 : 150

Demolition Notes	
No	Demo Description
1	remove rear portion of existing building
2	remove walls as indicated
3	remove and close doorway
4	remove awning

FOR CONSTRUCTION



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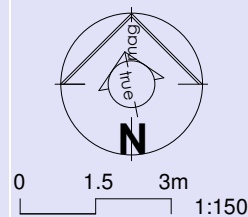
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WD1 22.05.17 Cons Dwgs
DA2 12.09.16 Revised DA
DA1 12.05.16 DA Issue

Issue	Date	Issue Description	Rev	Date	Revision Description



Scale at A3
1 : 150

Designed
AB
Drawn
AB
Checked
PBL

New Fitting Shop

at Main Rd
Busy Area
for Developer

Demolition Views

Working Drawings

Job No
0000111

Dwg No
860FP

Issue
WD1